

ORDINANCE NO. 301

AN ORDINANCE AMENDING THE DEVELOPMENT STANDARDS AND CONCEPT PLAN FOR THE PROPERTY DESCRIBED IN EXHIBIT "A", ATTACHED HERETO, WHICH PROPERTY IS ZONED AS TOWN CENTER, PLANNED DEVELOPMENT DISTRICT; WHICH PROPERTY REPRESENTS A PORTION OF THE PROJECT COMMONLY KNOWN AS THE HILL COUNTRY GALLERIA; AMENDING ANY PRIOR ZONING ORDINANCES WHICH ARE INCONSISTENT HERewith IN ACCORDANCE WITH THE AMENDED CONCEPT PLAN, ATTACHED HERETO AS EXHIBIT "B"; CREATING AMENDED DEVELOPMENT STANDARDS AS DESCRIBED IN EXHIBIT "C", ATTACHED HERETO; CREATING NEW ELEVATIONS FOR CANOPIES, DESCRIBED IN EXHIBIT "D", ATTACHED HERETO; CREATING NEW LANDSCAPE PLAN, DESCRIBED IN EXHIBIT "E", ATTACHED HERETO; CREATING NEW LIGHTING PLAN, DESCRIBED IN EXHIBIT "F", ATTACHED HERETO APPLICABLE TO THE PROPERTY; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Bee Cave and the City Council of the City of Bee Cave, in compliance with the laws of the State of Texas, with reference to the granting of zoning classifications and changes, have given the requisite notices by publication and otherwise, and have held two hearings and afforded a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and the City Council of the City of Bee Cave is of the opinion and finds that this zoning change should be granted and that the Concept Plans and Development Standards approved in Ordinance No. 05-03-08-A as subsequently amended by Ordinance No. 06-08-22-A, and Ordinance No. 07-09-11 all should be amended as applicable and as set forth herein; and

WHEREAS, the Galleria is a large multi-use development located in Town Center zoning wherein density of development is offset with requirements that would not otherwise be applicable to commercial development located in other parts of the City;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BEE CAVE, TEXAS:

SECTION 1. Findings of Fact. All of the above premises are hereby found to be true and correct legislative and factual findings of the City and are hereby approved and incorporated into the body of this Ordinance as if copied in their entirety

SECTION 2. That the zoning for the Property described in Exhibit "A", attached hereto, and approved in Ordinance No. 05-03-08-A, as subsequently amended by Ordinance No. 06-08-22-A, and Ordinance No. 07-09-11, (collectively the "Galleria Ordinances") be and the same are hereby amended by this Ordinance. This amendment only affects the Property described in Exhibit "A", attached hereto, in accordance with Exhibit "B", the Concept Plan, Exhibit "C", Development Standards, attached hereto, Elevations, Exhibit "D", attached hereto, the Landscape Plan, Exhibit "E", attached hereto, the Lighting Plan, Exhibit "F", attached hereto and which exhibits are incorporated herein. The Concept Plan and Development Standards attached

hereto are in addition to all other Concept Plans or Development Standards applicable to the Project except to the extent that such prior Concept Plans and Development Standards are inconsistent with the proposed changes to the Project described herein. The Elevations, the Landscape Plan and the Lighting Plan approved herein are in addition to any previously approved Landscape, Elevations, or Lighting Plans applicable to the Project except to the extent that such plans are inconsistent with the proposed changes to the Project described herein.

SECTION 3. No development that is shown on the Concept Plan attached hereto as Exhibit "B" which is not expressly approved herein and referenced in Exhibit "C" with specific development standards related thereto is approved by this Ordinance. Such proposed development shall be required at site plan approval to demonstrate compliance with the development standards of this Ordinance and the applicable development standards associated with any prior ordinances, to the extent not inconsistent with the express development standards described herein and in Exhibit "C", "D", "E" or "F" attached hereto.

SECTION 4. Concept Plan. That the Concept Plan attached as Exhibit "B" and made a part hereof for all purposes for the Property is hereby approved subject to the limitations set out in Section 3. Any proposed use or development depicted on the Concept Plan shall not be deemed authorized or approved by the City of Bee Cave until a final site plan ("Site Plan") is approved for such use and/or development in accordance with the terms and conditions of Chapter 32 of the Code of Ordinances as same may modified by the applicable Development Standards.

SECTION 5. Landscape, Elevations and Lighting Plans. That the additional plans attached hereto as Exhibit "D", "E", and "F" and made a part hereof for all purposes for the Property are hereby approved subject to the limitations set out in Section 3. Any proposed use or development depicted or described in such plans shall not be deemed authorized or approved by the City of Bee Cave until a final site plan ("Site Plan") is approved for such use and/or development in accordance with the terms and conditions of Chapter 32 of the Code of Ordinances as same may modified by the applicable Development Standards.

SECTION 6. 380 Agreement. This Ordinance does not amend the existing 380 Agreement dated July 12, 2005, as amended, nor any other related agreements between the City of Bee Cave and applicant as to the Concept Plan, Development Standards or other plans set out herein. To the extent that the Concept Plan, Development Standards, Landscape Plan, Elevations or Lighting Plan approved herein relate to contractual matters set out in the 380 Agreement, or related agreements, such Plans or Development Standards shall have no force and effect unless and until the 380 Agreement and any related agreements have been amended by mutual consent of the City and applicant.

SECTION 7. Development within City of Bee Cave Right of Way and City property. To the extent that the Concept Plan, Development Standards Landscape Plan, Elevations or Lighting Plan described herein relate to development within City of Bee Cave Right of Way or City property, such Plans and Development Standards shall have no force or effect unless and until the City and applicant mutually agree to a License, or other similar agreement which will authorize applicant's construction and maintenance activities on City Right of Way or City

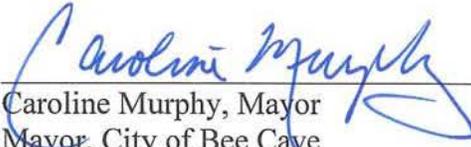
property.

SECTION 8. That should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjusted or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of Chapter 32, Zoning, of the City of Bee Cave Code of Ordinances and Map as a whole.

SECTION 9. Repealer. All ordinances or parts of ordinances in force regarding the zoning of this Property when the provisions of this Ordinance become effective are hereby repealed to the extent they are inconsistent.

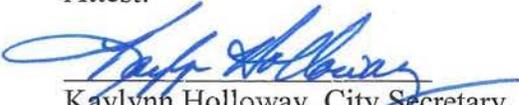
SECTION 10. That this ordinance shall take effect immediately from and after its passage and the publication as required by law.

PASSED by the City Council of the City of Bee Cave, Texas, on the 14th day of June, 2016.



Caroline Murphy, Mayor
Mayor, City of Bee Cave

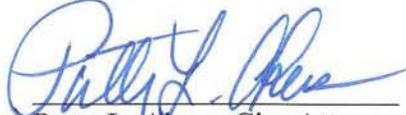
Attest:



Kaylynn Holloway, City Secretary
City of Bee Cave, Texas

(seal)

Approved as to Form:

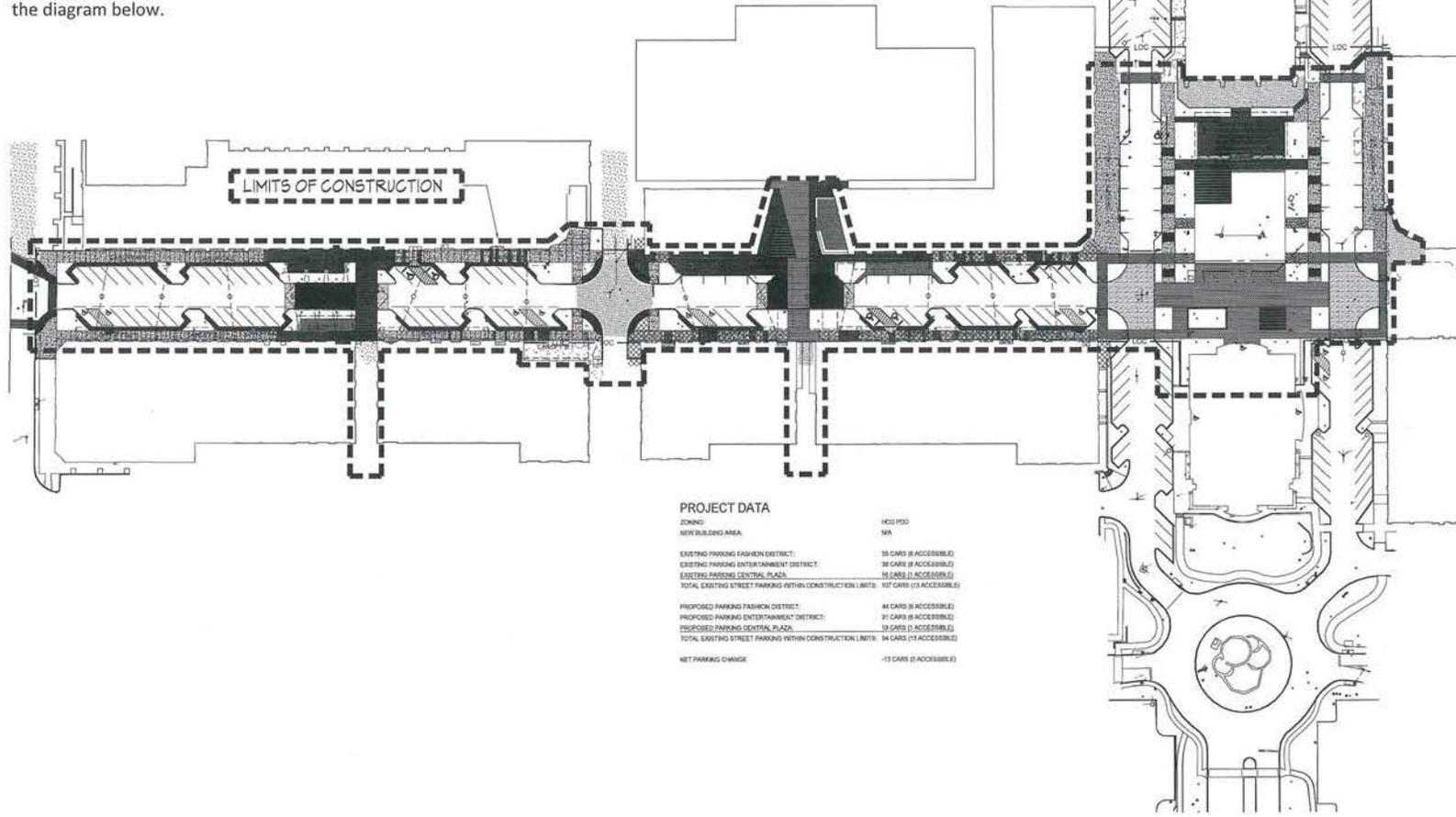


Patty L. Akers, City Attorney
City of Bee Cave

Ordinance 301

Exhibit A: Legal Description

The portions of Lot 1, Block A and Lot 7, Block A of the *Amended Final Plat, Hill Country Galleria of Lots 1-8 and 10-26, Block A, Lots 1-3, and 5-8, Block B and Lot 1, Block A (Document #: 200700378 OPRTC)* identified by the Limits of Construction on the diagram below.



PROJECT DATA

ZONING:	HCI-PD3
NEW BUILT AREA:	NA
EXISTING PARKING FASHION DISTRICT:	50 CARS (8 ACCESSIBLE)
EXISTING PARKING ENTERTAINMENT DISTRICT:	36 CARS (8 ACCESSIBLE)
EXISTING PARKING CENTRAL PLAZA:	16 CARS (1 ACCESSIBLE)
TOTAL EXISTING STREET PARKING WITHIN CONSTRUCTION LIMITS:	102 CARS (15 ACCESSIBLE)
PROPOSED PARKING FASHION DISTRICT:	44 CARS (6 ACCESSIBLE)
PROPOSED PARKING ENTERTAINMENT DISTRICT:	21 CARS (6 ACCESSIBLE)
PROPOSED PARKING CENTRAL PLAZA:	19 CARS (1 ACCESSIBLE)
TOTAL EXISTING STREET PARKING WITHIN CONSTRUCTION LIMITS:	84 CARS (13 ACCESSIBLE)
NET PARKING CHANGE:	-18 CARS (2 ACCESSIBLE)

01 PROPOSED SITE PLAN
 NORTH SCALE: 1"=50' REF.

Nelson Partners, Inc.
 Austin | Scottsdale
 15210 North Scottsdale Road
 Suite #100
 Scottsdale, Arizona 85254
 t. 480.749.6800
 nelsonpartners.com

PRELIMINARY
 NOT FOR
 CONSTRUCTION
 OR
 RECORDING

HILL COUNTRY GALLERIA
 SITE IMPROVEMENTS
 HIGHWAY 71 AND GALLERIA PARKWAY
 CITY OF BEE CAVE, TEXAS 78738

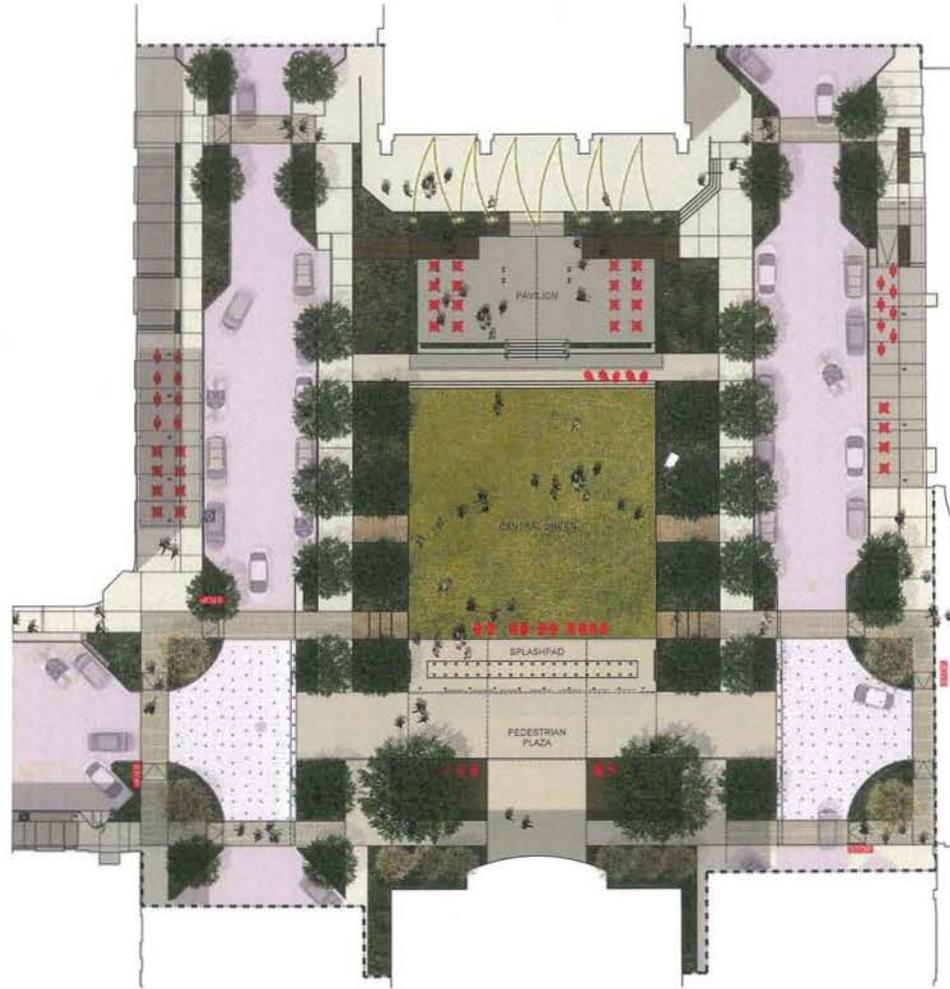
Date:
 April 29, 2016

Changes and other material appearing
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Project No.
 314111

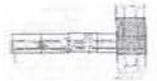
A111
 PROPOSED SITE PLAN



TOWN SQUARE
120

dwg.

9125 CONGRESS AVENUE
AUSTIN, TEXAS 78701
512.320.3668 | studio@dwg.com



project:

Hill Country Galleria
Site Improvements
Highway 71 and Galleria Parkway
Bee Cave, Texas, 78738

project number: 15_001

issue for:
2016-04-29_sbs development permit
2016-06-01_sbs development permit update
2016-06-24_PDD update



sheet title: siteplan rendering

sheet number: L102

16-273-SNPS

dwg.

1120 CONGRESS AVENUE
SUITE 200, DALLAS, TEXAS 75202
972.329.0468 | studioeg.com



FASHION DISTRICT
1:20



ENTERTAINMENT DISTRICT
1:20

Hill Country
Galleria

Blossom, Texas

project number: 15_001

issue for:
2016-04-26 site development permit



sheet title:
site plan rendering

sheet number:

L101

16-293-SNPS

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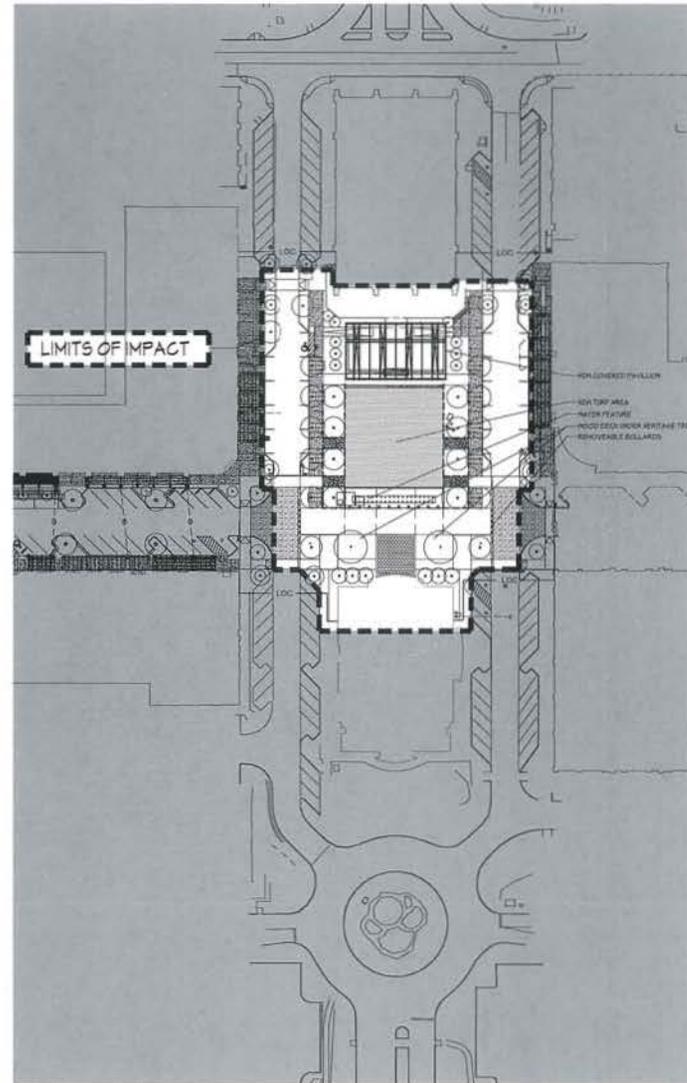
**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
June 24, 2016

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A111
PROPOSED SITE PLAN



PROJECT DATA

ZONING:	HQS-PD2
NEW BUILDING AREA:	NA
EXISTING PARKING FASHION DISTRICT:	30 CARS (8 ACCESSIBLE)
EXISTING PARKING ENTERTAINMENT DISTRICT:	30 CARS (8 ACCESSIBLE)
EXISTING PARKING CENTRAL PLAZA:	30 CARS (1 ACCESSIBLE)
TOTAL EXISTING STREET PARKING WITHIN CONSTRUCTION LIMITS:	90 CARS (13 ACCESSIBLE)
PROPOSED PARKING FASHION DISTRICT:	40 CARS (8 ACCESSIBLE)
PROPOSED PARKING ENTERTAINMENT DISTRICT:	31 CARS (8 ACCESSIBLE)
PROPOSED PARKING CENTRAL PLAZA:	30 CARS (1 ACCESSIBLE)
TOTAL EXISTING STREET PARKING WITHIN CONSTRUCTION LIMITS:	94 CARS (13 ACCESSIBLE)
NET PARKING CHANGE:	+4 CARS (0 ACCESSIBLE)

01 PROPOSED SITE PLAN
SCALE: 1"=60'

REF:

Nelson Partners, Inc.
Austin | Scottsdale
15310 North Scottsdale Road
Suite #300
Scottsdale, Arizona 85254
+ 480.749.6800
nelsonpartners.com

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**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

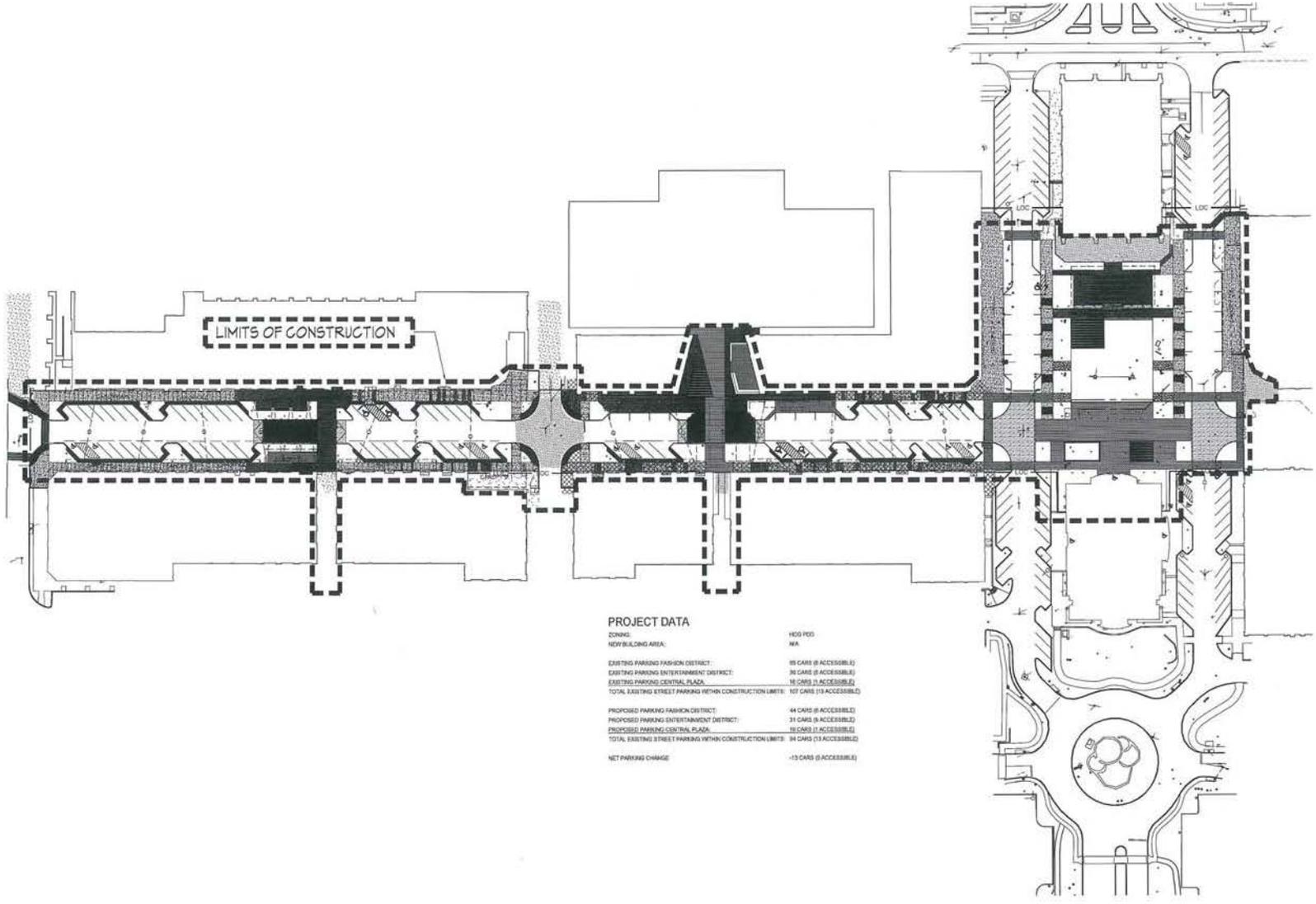
Date
April 29, 2016

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A111
PROPOSED SITE PLAN



PROJECT DATA

ZONING:	HOV PDD
NEW BUILDING AREA:	NA
EXISTING PARKING FASHION DISTRICT:	28 CARS (8 ACCESSIBLE)
EXISTING PARKING ENTERTAINMENT DISTRICT:	30 CARS (8 ACCESSIBLE)
EXISTING PARKING CENTRAL PLAZA:	18 CARS (2 ACCESSIBLE)
TOTAL EXISTING STREET PARKING WITHIN CONSTRUCTION LIMITS:	107 CARS (19 ACCESSIBLE)
PROPOSED PARKING FASHION DISTRICT:	44 CARS (8 ACCESSIBLE)
PROPOSED PARKING ENTERTAINMENT DISTRICT:	31 CARS (8 ACCESSIBLE)
PROPOSED PARKING CENTRAL PLAZA:	28 CARS (2 ACCESSIBLE)
TOTAL EXISTING STREET PARKING WITHIN CONSTRUCTION LIMITS:	104 CARS (13 ACCESSIBLE)
NET PARKING CHANGE:	-13 CARS (8 ACCESSIBLE)



01

PROPOSED SITE PLAN

SCALE: 1"=80'

REF:

PRELIMINARY
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OR
RECORDING

**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
April 29, 2018



01 CENTRAL PLAZA RENDERING
AERIAL VIEW LOOKING SOUTHWEST
SCALE: N.T.S. REF:

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Project No.
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A347
RENDERINGS

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+1 480 919 6500
info@nelsonpartners.com

PRELIMINARY
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CONSTRUCTION
OR
RECORDING

**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
April 29, 2015



CENTRAL PLAZA RENDERING
EYE LEVEL VIEW LOOKING NORTH

01

SCALE: N.T.S.

REF:

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Project No.
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A346
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Exhibit C

GALLERIA

PLANNED DEVELOPMENT STANDARDS AS AMENDED BY ORDINANCE NO. 301

The following development standards shall be applicable to the Property described in Exhibit "A" within this Planned Development District. To the extent that any of the following standards conflict with other City Ordinances, the following shall control. All development activity undertaken on the Property (the "Project"), shall comply with the development standards for TC – Town Center Base Zoning District in effect on January 26, 2005 ("The Applicable Town Center Development Standards"), except as modified herein, and with all other City zoning, subdivision and construction codes and requirements, except as modified herein. Capitalized terms contained herein shall be defined as indicated in these Planned Development Standards, as reflected on the Concept Plan or as defined in the City of Bee Cave Code of Ordinances, depending upon context.

1. Project Amendment Summary

(a) The amphitheater area of the Project is proposed to be repurposed as a central plaza allowing for more pedestrian oriented space. The Central Plaza is defined as the area of the current amphitheater and the sidewalks adjacent to the one way streets flanking the current amphitheater area. The Central Plaza (the "Plaza"), as depicted in Exhibit "B", will be converted into a civic lawn with functional flexibility and will encourage pedestrians to enter, cross, and enjoy it. The grades shall be adjusted so that the Plaza is relatively flat and can host a variety of events including farmers markets, evening movies, holiday festivals, art installations, concert series, or civic functions. A large pavilion shall be constructed on the north portion of the Plaza to provide more flexible space shielded from the elements.

(b) A portion of the City Hall property and a portion of City right of way adjacent to the Plaza (if subsequently approved in a separate agreement with the City) would also be repurposed to allow the Plaza to functionally connect to the front door of the City's library, creating a more civic feel. Two large Heritage Trees will be planted on City Property and other improvements are proposed that will allow the City Hall property and the adjacent right of way to be used in conjunction with the Plaza.

(c) Parallel parking will be added on the edges of the Plaza. These spaces will allow better access to the Plaza and can also function as valet areas on evenings of heavy traffic. From a pedestrian circulation standpoint, the changes will allow for an enriched experience in and around the Central Plaza.

(d) New dining and pedestrian spaces west of the Central Plaza on Main Street, as depicted in Exhibit "B", are also proposed to be repurposed to provide expanded pedestrian spaces. Canopies are being added to store fronts along Main Street west of the Plaza as depicted in Exhibit "D", attached hereto.

- (e) A new Landscaping Plan will be added in accordance with Exhibit “E”, attached hereto.
- (f) A new Lighting Plan will be added in accordance with Exhibit “F”, attached hereto.

2. Central Plaza and Pavilion

(a) Central Plaza shall be used as a pedestrian oriented space that will allow flexible functionality. Permitted uses of the Plaza include uses that are authorized uses in a Town Center Zoning District such as the following: informal public recreation, outdoor eating and seating areas, concerts (i.e. professional artists, high school band, elementary choirs), farmers market, theater productions (i.e. Shakespeare in the park, children's productions, high school productions), outdoor movie showings, Community expos, trade shows, fairs, holiday tree / Santa, cooking demonstrations, food festivals, fashion shows, Yoga, Pilates, fitness classes, non-profit fund raising events, children's activities (i.e. arts & crafts, face painting, field day, etc.), headquarters for parades, car shows, 5k races, street festivals, etc. Hours of operation for the Plaza shall be Monday through Sunday from 7 am until 10 pm. Provided, the Plaza shall not be scheduled for musical events or any event requiring amplified sound on any Tuesday evening after 6 pm (except for months that have a 5th Tuesday) so as not to conflict with regular Council or Planning and Zoning Commission meetings. In the event that regular Council or PZ meeting nights are scheduled to occur on a different night, the parties may negotiate for a change to this requirement without the need to amend these Development Standards. The City shall be notified in advance of any other type of event that is scheduled for a Tuesday evening after 6pm. Parking adjacent to City Hall shall not be utilized for Tuesday night Plaza events. Festivals and other events listed in this section are authorized without the need of a special events permit provided however that the City Manager or his designee must approve any fireworks display, closure of public streets, events that are conducted outside of the Plaza, events that will not be completed by 10 pm, or events that will be conducted in excess of a three-day consecutive period. Events requiring approval of the City Manager shall be considered for approval in accordance with the City’s Special Events regulations. However, private events such as a wedding shall not be authorized. Vehicle displays or displays of products not for sale within the Project shall not be authorized. Temporary and short term displays introducing new businesses or new products for sale within the Project shall be authorized so long as such displays are in accordance with a special event and the display does not exceed three days.

(b) Surface runoff or drainage from the Central Plaza shall not be allowed to flow or drain onto any portion of the City’s right of way or City property except through underground storm water lines and in accordance with applicable joint and reciprocal easements between the City and adjacent property owner.

(c) Construction of the Plaza area including time for construction, security of the construction area and the closure of any public access or public streets shall be accomplished in accordance with a separate construction plan approved in conjunction with issuance of the Site Construction permit. Construction activities shall be conducted so as to cause as little disturbance to adjacent City Hall activities (including library activities) and adjacent private uses as possible. Grass shall be planted and maintained within the Plaza area as depicted in the Concept Plan.

Maintenance of the grass in the Plaza area shall be accomplished in accordance with a Maintenance Plan to be approved by the City in conjunction with Site Plan approval.

(d) Sidewalks and pedestrian spaces shall be located as generally depicted in the Concept Plan to accommodate a traditional main street style design which is open and inviting to pedestrians and accommodating to street front retail. Tables and chairs shall be movable to accommodate changing functionality of the Plaza area. Developer shall be responsible for returning all tables and chairs to the areas depicted on the Concept Plan at end of every day and at the end of every event. Decks and other non-movable fixtures shall be located as generally depicted on the Concept Plan.

(e) Outdoor Seating Areas may be covered. Awnings and umbrellas are permitted to provide cover for Outdoor Seating Areas. Other covering for outdoor areas not depicted on the Concept Plan may be approved by the City in its discretion at a subsequent Site Plan approval. Table umbrellas shall be lowered at the end of each day and after the end of an event.

(f) Permanent kiosks shall not be located in the Central Plaza. Temporary kiosks may be placed at the locations indicated on the Concept Plan, or may be placed at alternate locations if approved by the City Council in its discretion in conjunction with approval of a Site Plan applicable to the kiosk.

(g) Kiosks shall be designed as generally depicted on Exhibit "D", or may be designed pursuant to an alternate elevation as may be approved by the City Council in its discretion in conjunction with approval of a Site Plan applicable to the kiosk.

(h) Sales of food or any other retail sales within City right of way or upon City Property is prohibited.

(i) Heritage Trees defined as trees with a minimum of 24 caliper inches with minimum of 30 foot diameter canopy and shall be located as depicted in the Concept Plan. If a Heritage Tree dies it shall be replaced with another Heritage Tree.

3. Parallel Parking Areas adjacent to Central Plaza

(a) A maximum of 19 parallel parking spaces and 1 ADA compliant parking spaces are authorized at the locations depicted on Exhibit "B". Parallel parking spaces shall be a minimum of 8 x 22 feet.

(b) No angled parking shall be allowed adjacent to the Central Plaza.

(c) Valet Parking shall be authorized at the location depicted in the Concept Plan during peak hours.

4. Location of Water Feature/Splash Area

A water feature/splash area is authorized at the southern area of the Plaza as depicted in Exhibit "B". Surface run off from the water feature shall not be allowed to drain or flow onto any portion of the adjacent City right of way or City property.

5. West Main Street

(a) New pedestrian oriented areas and new outdoor dining areas along the portion of Main Street west of the Plaza are authorized as depicted in the Concept Plan. Sidewalks and pedestrian spaces shall be located to accommodate a traditional main street style design which is open and inviting to pedestrians and accommodating to street front retail. Decks and other non-movable fixtures shall be located as generally depicted on the Concept Plan.

(b) Outdoor Seating Areas may be covered. Awnings and umbrellas are permitted to provide cover for Outdoor Seating Areas. Other covering for outdoor areas not depicted on the Concept Plan or Exhibit "D" may be approved by the City in its discretion at a subsequent Site Plan approval. Table umbrellas shall be lowered at the end of each day.

(c) Changes in angle parking is authorized as depicted in the Concept Plan. A minimum of 75 regular parking spaces and 12 ADA compliant parking spaces shall be required.

(d) A Valet parking area adjacent to the Cinema is authorized as depicted on the Concept Plan and shall be operated only during peak hours.

(e) Canopies are authorized along west Main Street as depicted in Exhibit "D".

6. General Development Standards

(a) Landscaping and Hardscape shall be authorized in accordance with Exhibit "E", attached hereto.

(b) No minimum pervious area is required for trees planted within tree grates and landscape areas located along and within sidewalks, drives and roadways if approved by a certified arborist or a landscape architect.

(c) Tree trunks may be located less than five (5) feet from paving or curbs if a certified arborist or landscape architect certifies to the City that the proximity of the curbing or pavement is not likely to harm the tree. Heritage trees shall be replaced within 30 days if the tree becomes diseased or dies or if damage to the tree occurs which eventually cause the tree to die.

(d) Removal of trees is permitted as reflected in the Landscape Plan (Exhibit "E"). Provided however, that trees targeted for removal shall be relocated or replaced with trees of equivalent caliper inches, to the maximum extent feasible within the boundaries of the renovation. If the trees cannot be relocated or replaced within the boundaries of the renovation, relocated or replacement trees may be moved elsewhere within the Project or to the highway frontages

including the north and south highway frontages of Highway 71, RR620 and FM 2244. Trees shall not be relocated to the interior area of the Staats property unless approved in advance by the City. A tree relocation/replacement plan shall be submitted to the City for review and approval prior to City approval of the Site Construction Permit.

(e) Streets, driveways, alleys and parking lots may be paved with asphalt, provided that coal tar sealants are not used. Pavers shall be used in street construction as depicted on the Concept Plan. Street calming structures such as a speed table are authorized at the locations depicted in the Concept Plan.

(f) Lighting of the west Main Street Area and the Plaza area shall be in accordance with the Lighting Plan described in Exhibit "F", attached hereto and shall comply with the City's lighting regulations.

(g) Strings of tivoli type lights are authorized for use in accordance with Exhibit "F". Overhanging lights above west Main Street or public right of way shall have a minimum clearance of 14 feet above the street or right of way.

(h) No increase in impervious cover is authorized by these Development Standards. Decks that are authorized by these Development Standards shall receive 50% credit against impervious cover.

(i) All uses shall be subject to current safety, nuisance and access regulations of the City's Code of Ordinances. If any use authorized by these Development Standards is in conflict with a safety, building code or nuisance regulation of the City, the safety, building code or nuisance regulation shall prevail and the Development Standard shall be modified as applicable.

(j) Construction of the improvements authorized by this Ordinance as described herein is authorized 24 hours a day and noise generated from such activities shall be authorized at the noise levels for construction activities that occur between the hours of 7:00am and 7:00pm in accordance with Code of Ordinances Section 32.005.008.

PRELIMINARY
NOT FOR
CONSTRUCTION
OR
RECORDING



HILL COUNTRY GALLERIA
SITE IMPROVEMENTS
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
April 26, 2016

01 NORTH STREETScape -
FASHION DISTRICT RENDERING
SCALE: N.T.S. REF:

Drawings and written material submitted hereto constitute original and unpublished work of the architect and may not be disclosed, used, or otherwise referred without consent of the architect.

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Project No.
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RENDERINGS



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**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
April 29, 2016

01 SOUTH STREETScape -
FASHION DISTRICT RENDERING
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Project No.
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RENDERINGS



**NELSEN
PARTNERS**
ARCHITECTS & PLANNERS

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nelsonpartners.com

PRELIMINARY
NOT FOR
CONSTRUCTION
OR
RECORDING

**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
April 29, 2016

01 NORTH STREETScape -
ENTERTAINMENT DISTRICT RENDERING
SCALE: N.T.S.

Design and/or construction documents
have not been prepared and no liability
shall be assumed for any use of the
information shown or omitted therefrom
without the written consent of the architect.

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OR
RECORDING

**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
April 29, 2018

01 SOUTH STREETScape -
ENTERTAINMENT DISTRICT RENDERING
SCALE: N.T.S. REF:

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Project No.
314111

A343
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OR
RECORDING

HILL COUNTRY GALLERIA
SITE IMPROVEMENTS
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
April 29, 2016



SOUTH STREETSCAPE -
ENTERTAINMENT DISTRICT RENDERING

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HILL COUNTRY GALLERIA
SITE IMPROVEMENTS
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
April 29, 2016



SOUTH STREETSCAPE -
ENTERTAINMENT DISTRICT RENDERING

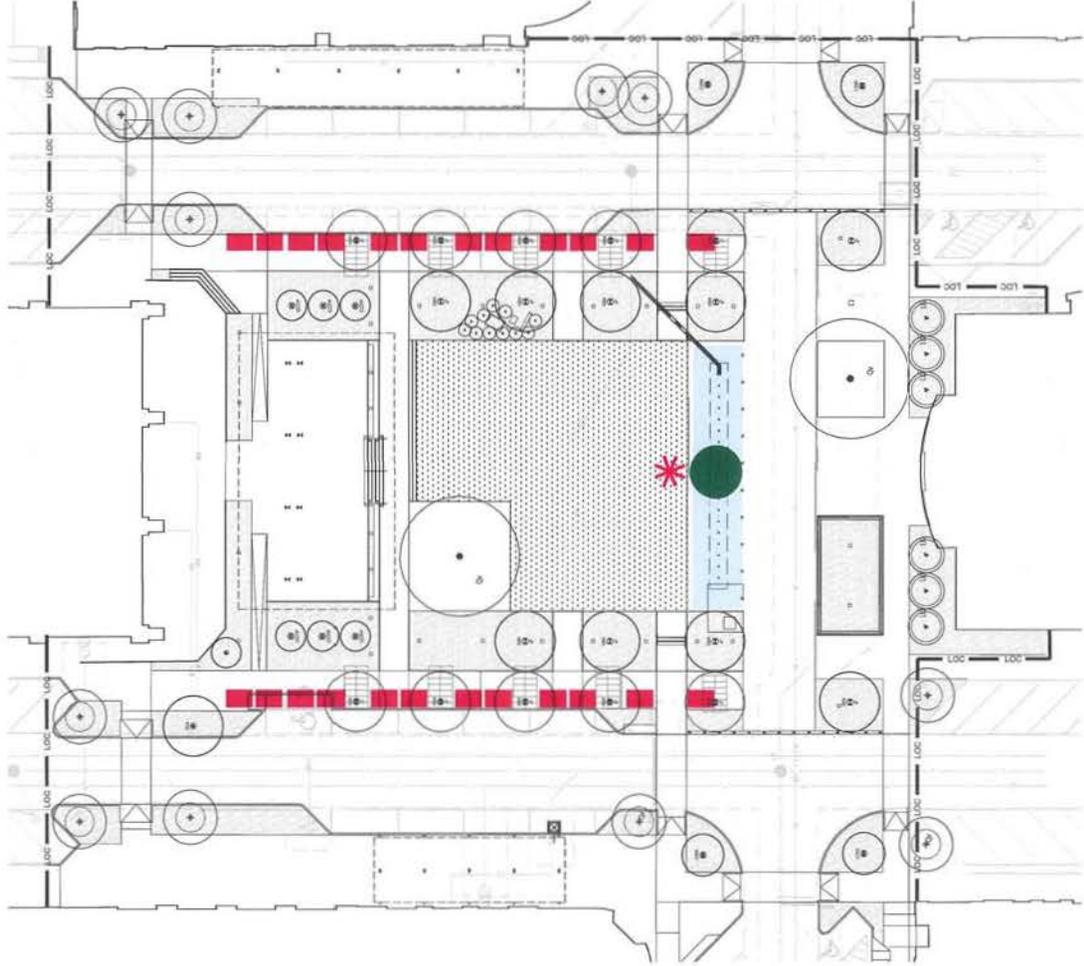
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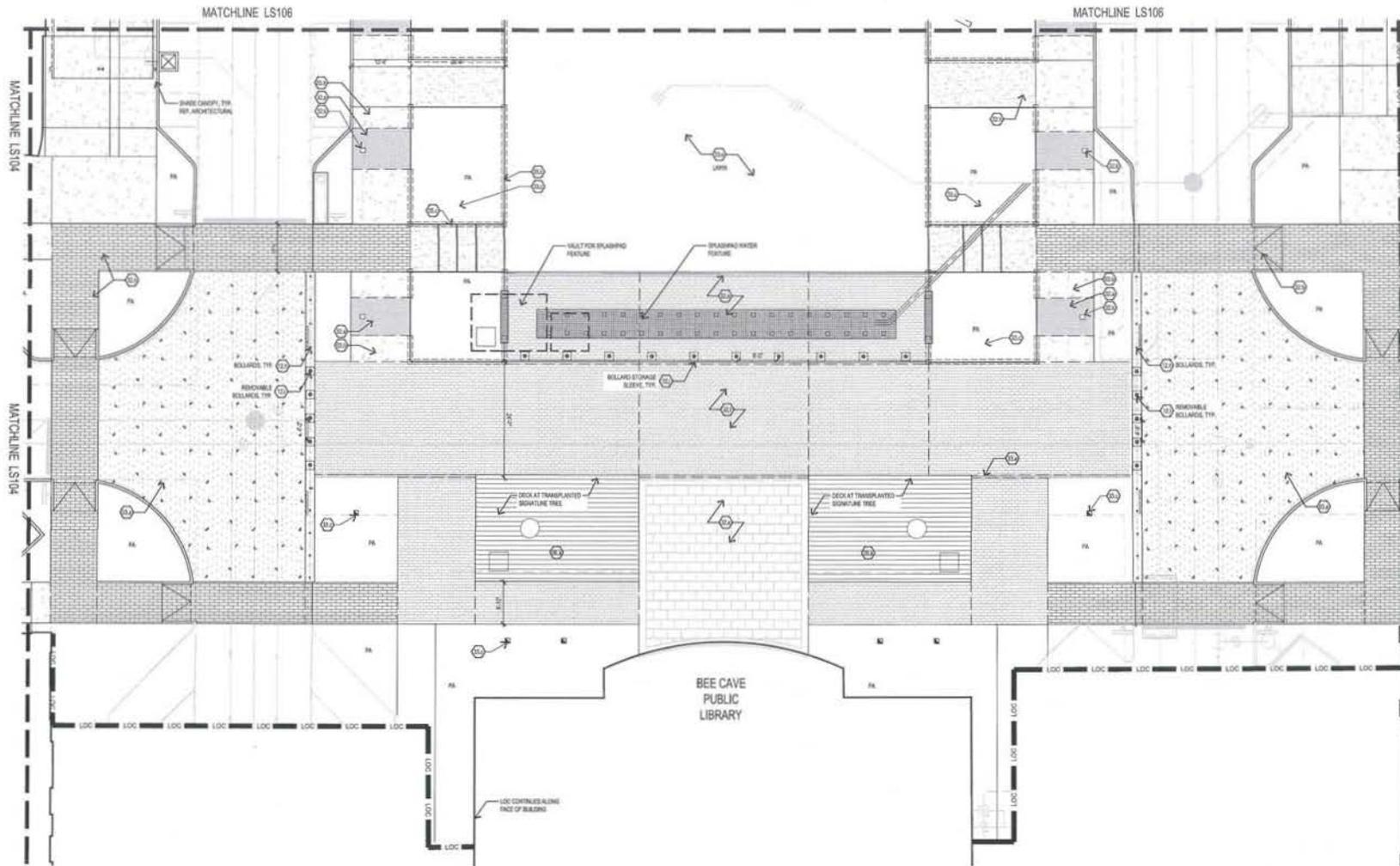


HILL COUNTRY GALLERIA
CENTRAL GREEN CHRISTMAS DIAGRAM

dwg.



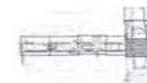
Exhibit E



NOTE: Removable bollards (12) are intended to facilitate temporary closure of Hill Country Boulevard between Galleria Parkway Northbound and Galleria Parkway Southbound. When this section of roadway is to be opened to vehicular traffic, these bollards will be relocated to bollard storage sleeves (12), just south of the splashpad.

dwg.

1320 congress avenue
austin, texas 78705
512.320.0468 | studiogag.com



project:

Hill Country
Galleria
Site Improvements

Highway 71 and Galleria Parkway
Bee Cave, Texas, 78138

project number: 15_001

issue for:
2016-04-28 site development permit
2016-06-11 site development permit #2
2016-06-24 PUD update



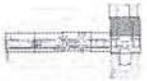
sheet title:
landscape sitework
plan enlargement

sheet number:
LS105

16-273-SNPS

dwg.

1126 congress avenue
suite 1000, dallas, tx 75202
312.320.0668 | studiosag.com



project:

Hill Country
Galleria
Site Improvements
Highway 71 and Galleria Parkway
Bee Cave, Texas, 78738

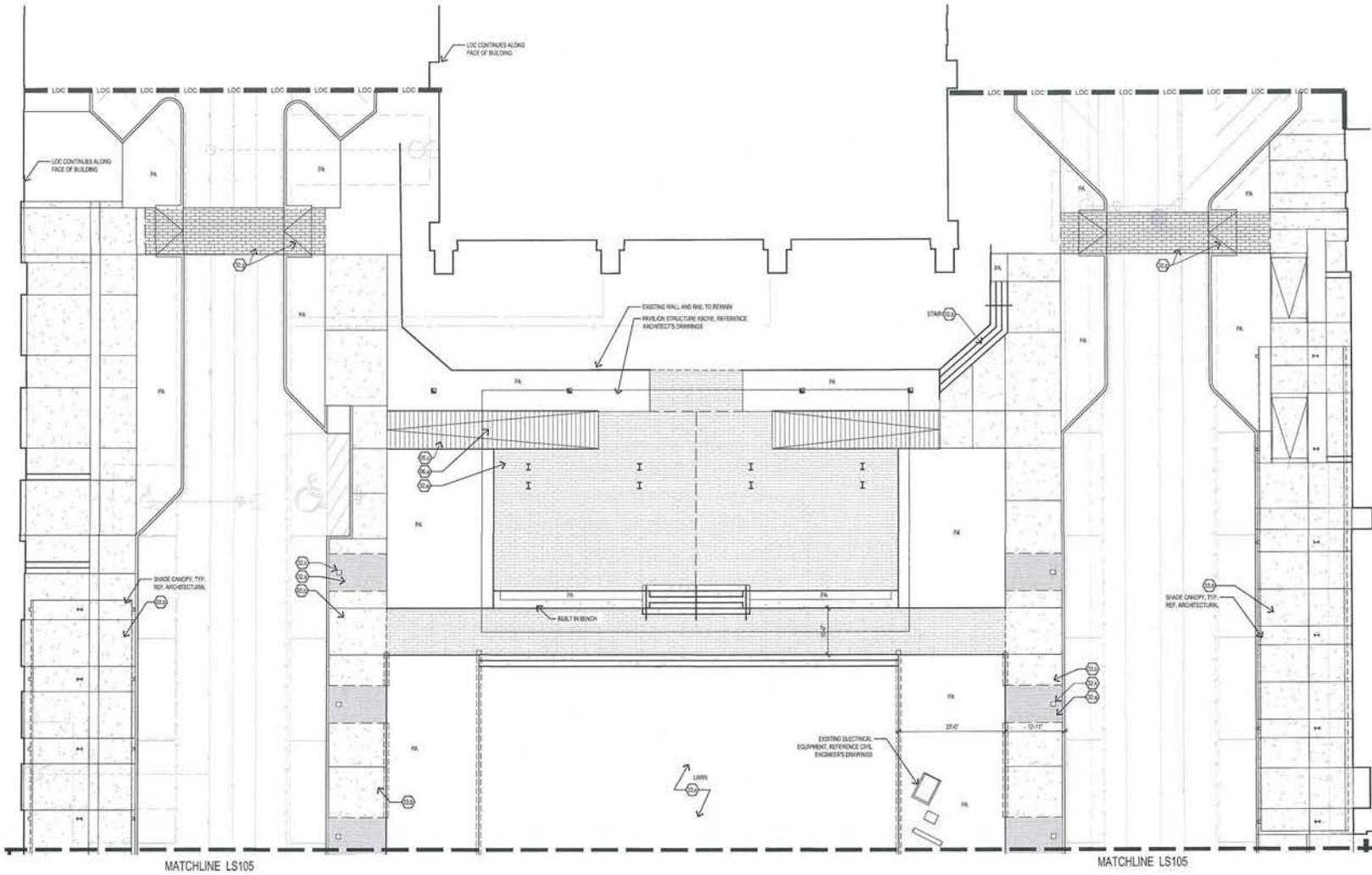
project number: 15,001

issue for:
2016-05-26 site development permit
2016-06-01 site development permit
2016-08-24 PUD update



sheet title:
landscape sitework
plan enlargement

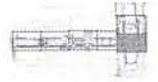
sheet number:
LS106
16-273-SNPS



1 10 50
SCALE 1:10

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8120 CONGRESS AVENUE
 SUITE 100, TEXAS 78702
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project:

Hill Country Galleria
 Site Improvements
 Highway 71 and Galleria Parkway
 Bee Cave, Texas, 78738

project number: 15_001

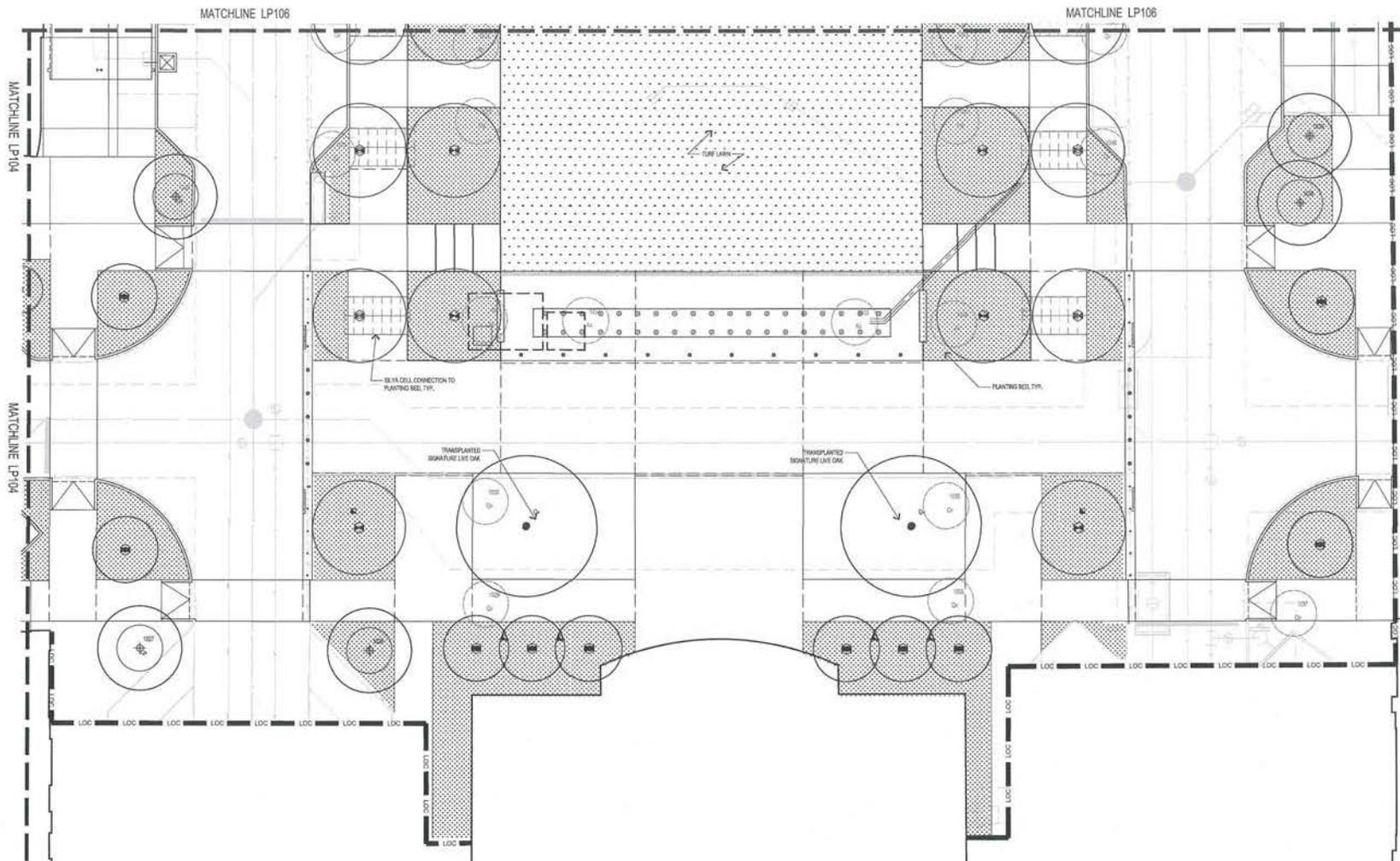
issue for:
 2016-04-28 site development permit
 2016-06-01 site development permit v2
 2016-06-24 PDD Update



sheet title:
 landscape planting
 plan enlargement

sheet number:
LP105

16-273-SNPS



SHADE TREES		UNDERSTORY TREES		SCREENING SHRUBS AND SOO	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
EM XXX	Existing Tree to Retain	CCF2	Redbud Cercis canadensis Flower Pinky	VC	Needle Yucca Yucca nodosa var Claret
QF4	Madroño Oak Quercus polymorpha	L109	Crepe Myrtle Lagerströmia indica f. Bicolor 'Newport'	ZJ	Yucca Yucca glauca f. Yucca
Q51	Red Oak Quercus shumardii	L2	Crepe Myrtle Lagerströmia indica f. Bicolor 'Balsam'		
QV6	Live Oak Quercus virginiana				

NOTE:
 1. THE HATCHED AREA INDICATES PLANTING AREA. VEGETATION IN THESE AREAS WILL BE ADDRESS AS OF NATIVE TEXAS PLANTS IN ACCORDANCE WITH CITY OF BEE CAVE PLANTING CRITERIA, CITY OF BEE CAVE CODE OF ORDINANCE SEC. 22.05.002

DRIP IRRIGATION IN ALL BEDS AND CENTRAL GREEN

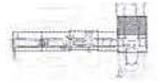


SCALE 1:10

NOTE:
 1. REFERENCE SHEET LP100 FOR TREE MITIGATION AND CITY OF BEE CAVE CALCULATIONS.
 2. REFERENCE LP 500 FOR PLANTING DETAILS
 3. REFERENCE LD SERIES FOR EXCAVATION AND SOIL DEPTH REQUIREMENTS

dwg.

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project:

Hill Country Galleria
Site Improvements
Highway 71 and Galleria Parkway
Bee Cave, Texas, 78138

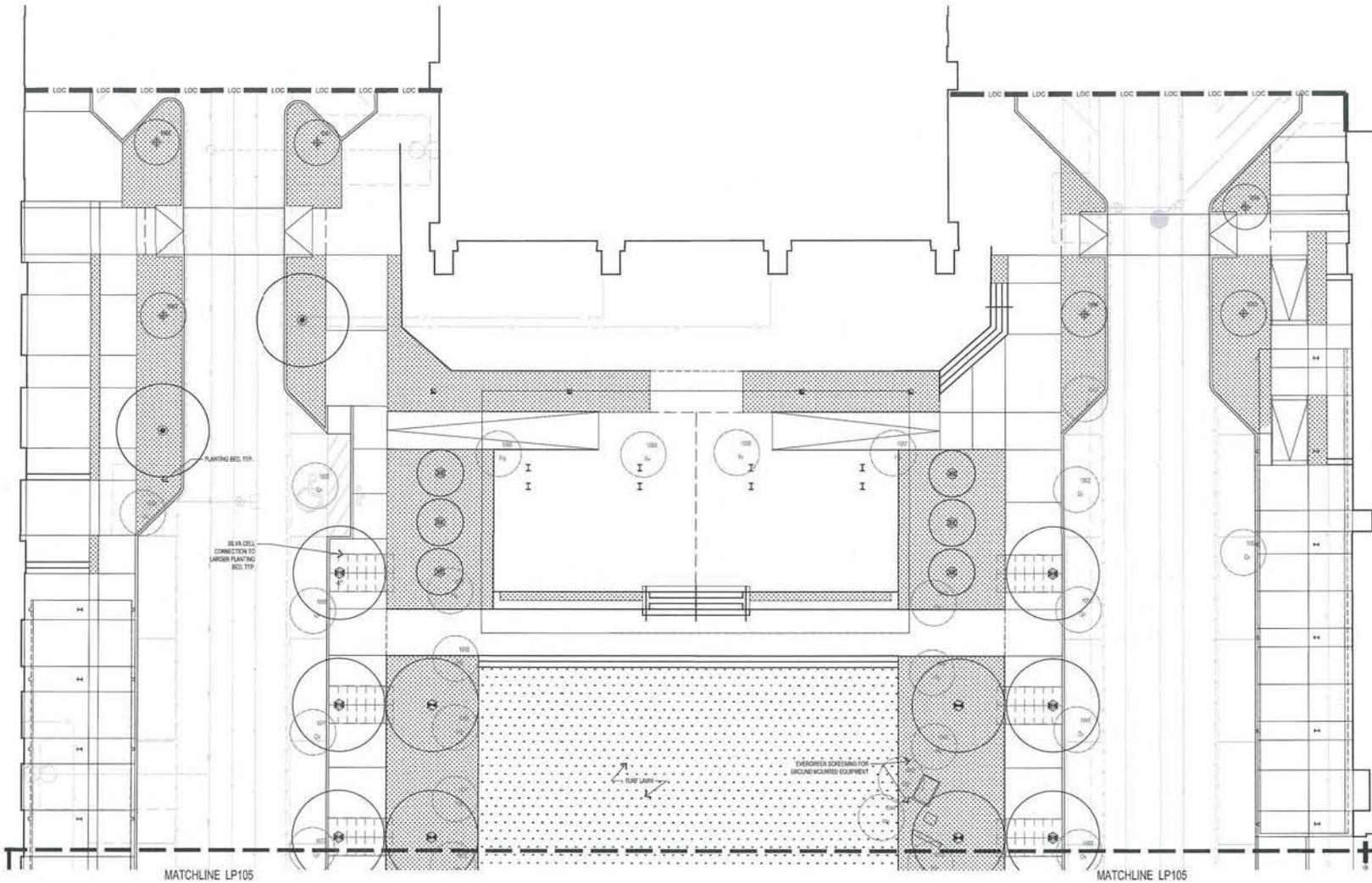
project number: 15,001

issue for:
2016-04-26 site development permit
2016-06-17 site development permit #2
2016-06-24 PDD update



sheet title:
landscape planting
plan enlargement

sheet number:
LP106
16-273-SNPS



SHADE TREES		UNDERSTORY TREES		SCREENING SHRUBS AND SOO	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
EDR 8000	Existing Tree to Remain	CCF2	Redbud Cercis canadensis Floral Fragr.	VC	Needle Pines Wormwood Juniper or Dwarf
QF4	Western Oak Quercus laevis	U100	Crape Myrtle Lagerströmia indica Bottle Brush	ZJ	Pinkstar Zizia Zizia japonica Pinkstar
Q54	Red Oak Quercus shumardii	U2	Crape Myrtle Lagerströmia indica Bottle Brush		
QV4	Live Oak Quercus virginiana				

NOTE:
1. THE HATCHED AREA INDICATES PLANTING AREA. VEGETATION IN THESE AREAS WILL BE ADVERSE MIX OF NATIVE TEXAS PLANTS IN ACCORDANCE WITH CITY OF BEE CAVE PLANTING CRITERIA, CITY OF BEE CAVE, CODE OF ORDINANCE SEC. 32.05.002.

DRIP IRRIGATION IN ALL BEDS AND CENTRAL GREEN



SCALE 1:10

NOTE:
1. REFERENCE SHEET LP100 FOR TREE MITIGATION AND CITY OF BEE CAVE CALCULATIONS.
2. REFERENCE LP 300 FOR PLANTING DETAILS
3. REFERENCE LD SERIES FOR EXCAVATION AND SOIL DEPTH REQUIREMENTS

GENERAL LIGHTING NOTES

Sheet List Table with columns for Sheet Number and Sheet Title. Includes sheets L1001 through L1206 covering various lighting plans and photometric plans.

LDA FIXTURE TYPE LABELING NOMENCLATURE

Table defining fixture type labeling nomenclature. Columns include First Letter (Remote, Receptacle, etc.), Second Letter (Voltage, Lamp, etc.), and Third Letter (Mounting, etc.).

ADDITIONAL NOTES: 1. A DIAL CODE IS FOLLOWED BY A NUMBER DENOTING DIFFERENT FIXTURE TYPES (E.G. '941' IS A DIFFERENT STYLE OF LIGHT FIXTURE THAN '942').

- General Practices: 1. Provide all materials as detailed on drawings... 2. Coordinate with other trades... 3. Coordinate with building department... 4. Coordinate with electrical contractor... 5. Coordinate with mechanical contractor... 6. Coordinate with plumbing contractor... 7. Coordinate with fire alarm contractor... 8. Coordinate with fire sprinkler contractor... 9. Coordinate with fire alarm contractor... 10. Coordinate with fire sprinkler contractor... 11. Coordinate with fire alarm contractor... 12. Coordinate with fire sprinkler contractor... 13. Coordinate with fire alarm contractor... 14. Coordinate with fire sprinkler contractor... 15. Coordinate with fire alarm contractor... 16. Coordinate with fire sprinkler contractor... 17. Coordinate with fire alarm contractor... 18. Coordinate with fire sprinkler contractor... 19. Coordinate with fire alarm contractor... 20. Coordinate with fire sprinkler contractor...

- Installation: 1. All fixture voltages shall be determined by electrical engineer... 2. Fixtures shall be approved by the authority having jurisdiction... 3. Responsibility for the design, selection, and installation of complete systems with the exception of electrical equipment as required by the code... 4. Fixtures shall be installed in accordance with the manufacturer's instructions... 5. Fixtures shall be installed in accordance with the manufacturer's instructions... 6. Fixtures shall be installed in accordance with the manufacturer's instructions... 7. Fixtures shall be installed in accordance with the manufacturer's instructions... 8. Fixtures shall be installed in accordance with the manufacturer's instructions... 9. Fixtures shall be installed in accordance with the manufacturer's instructions... 10. Fixtures shall be installed in accordance with the manufacturer's instructions... 11. Fixtures shall be installed in accordance with the manufacturer's instructions... 12. Fixtures shall be installed in accordance with the manufacturer's instructions... 13. Fixtures shall be installed in accordance with the manufacturer's instructions... 14. Fixtures shall be installed in accordance with the manufacturer's instructions... 15. Fixtures shall be installed in accordance with the manufacturer's instructions... 16. Fixtures shall be installed in accordance with the manufacturer's instructions... 17. Fixtures shall be installed in accordance with the manufacturer's instructions... 18. Fixtures shall be installed in accordance with the manufacturer's instructions... 19. Fixtures shall be installed in accordance with the manufacturer's instructions... 20. Fixtures shall be installed in accordance with the manufacturer's instructions...

- Definition: 1. Lighting conditions shall be provided unless otherwise specified... 2. Lighting conditions shall be provided unless otherwise specified... 3. Lighting conditions shall be provided unless otherwise specified... 4. Lighting conditions shall be provided unless otherwise specified... 5. Lighting conditions shall be provided unless otherwise specified... 6. Lighting conditions shall be provided unless otherwise specified... 7. Lighting conditions shall be provided unless otherwise specified... 8. Lighting conditions shall be provided unless otherwise specified... 9. Lighting conditions shall be provided unless otherwise specified... 10. Lighting conditions shall be provided unless otherwise specified... 11. Lighting conditions shall be provided unless otherwise specified... 12. Lighting conditions shall be provided unless otherwise specified... 13. Lighting conditions shall be provided unless otherwise specified... 14. Lighting conditions shall be provided unless otherwise specified... 15. Lighting conditions shall be provided unless otherwise specified... 16. Lighting conditions shall be provided unless otherwise specified... 17. Lighting conditions shall be provided unless otherwise specified... 18. Lighting conditions shall be provided unless otherwise specified... 19. Lighting conditions shall be provided unless otherwise specified... 20. Lighting conditions shall be provided unless otherwise specified...

- Submittals: 1. Contractor to submit for approval all products to be installed... 2. Contractor to submit for approval all products to be installed... 3. Contractor to submit for approval all products to be installed... 4. Contractor to submit for approval all products to be installed... 5. Contractor to submit for approval all products to be installed... 6. Contractor to submit for approval all products to be installed... 7. Contractor to submit for approval all products to be installed... 8. Contractor to submit for approval all products to be installed... 9. Contractor to submit for approval all products to be installed... 10. Contractor to submit for approval all products to be installed... 11. Contractor to submit for approval all products to be installed... 12. Contractor to submit for approval all products to be installed... 13. Contractor to submit for approval all products to be installed... 14. Contractor to submit for approval all products to be installed... 15. Contractor to submit for approval all products to be installed... 16. Contractor to submit for approval all products to be installed... 17. Contractor to submit for approval all products to be installed... 18. Contractor to submit for approval all products to be installed... 19. Contractor to submit for approval all products to be installed... 20. Contractor to submit for approval all products to be installed...

- Other Specifications: 1. All lighting fixtures shall be mounted and supported in accordance with applicable industry standards... 2. All exterior equipment shall be rated for wet location and the IP rating of all equipment shall conform to the conditions which the fixture is required... 3. Contractor shall provide fixture-mounting kits as required to suit the most type of ceiling or wall surface to which they are to be installed... 4. All fixtures shall be supplied with operation as listed... 5. All remote equipment and/or ballasts are to be located as close to the fixture as possible, hidden from guest view in an accessible compartment that is well ventilated to prevent heat dissipation... 6. All remote equipment shall be located in an accessible area... 7. All remote equipment shall be located in an accessible area... 8. All remote equipment shall be located in an accessible area... 9. All remote equipment shall be located in an accessible area... 10. All remote equipment shall be located in an accessible area... 11. All remote equipment shall be located in an accessible area... 12. All remote equipment shall be located in an accessible area... 13. All remote equipment shall be located in an accessible area... 14. All remote equipment shall be located in an accessible area... 15. All remote equipment shall be located in an accessible area... 16. All remote equipment shall be located in an accessible area... 17. All remote equipment shall be located in an accessible area... 18. All remote equipment shall be located in an accessible area... 19. All remote equipment shall be located in an accessible area... 20. All remote equipment shall be located in an accessible area...

- System Integration: 1. System integrator (SI) shall remain the contractor responsible to provide, install and/or install, the lighting control system, including and control systems... 2. The SI shall provide and install the lighting control system, including and control systems... 3. The SI shall provide and install the lighting control system, including and control systems... 4. The SI shall provide and install the lighting control system, including and control systems... 5. The SI shall provide and install the lighting control system, including and control systems... 6. The SI shall provide and install the lighting control system, including and control systems... 7. The SI shall provide and install the lighting control system, including and control systems... 8. The SI shall provide and install the lighting control system, including and control systems... 9. The SI shall provide and install the lighting control system, including and control systems... 10. The SI shall provide and install the lighting control system, including and control systems... 11. The SI shall provide and install the lighting control system, including and control systems... 12. The SI shall provide and install the lighting control system, including and control systems... 13. The SI shall provide and install the lighting control system, including and control systems... 14. The SI shall provide and install the lighting control system, including and control systems... 15. The SI shall provide and install the lighting control system, including and control systems... 16. The SI shall provide and install the lighting control system, including and control systems... 17. The SI shall provide and install the lighting control system, including and control systems... 18. The SI shall provide and install the lighting control system, including and control systems... 19. The SI shall provide and install the lighting control system, including and control systems... 20. The SI shall provide and install the lighting control system, including and control systems...

- Warranty and Control System Specifications: 1. Equipment furnished shall be the responsibility of a single manufacturer... 2. Equipment furnished shall be the responsibility of a single manufacturer... 3. Equipment furnished shall be the responsibility of a single manufacturer... 4. Equipment furnished shall be the responsibility of a single manufacturer... 5. Equipment furnished shall be the responsibility of a single manufacturer... 6. Equipment furnished shall be the responsibility of a single manufacturer... 7. Equipment furnished shall be the responsibility of a single manufacturer... 8. Equipment furnished shall be the responsibility of a single manufacturer... 9. Equipment furnished shall be the responsibility of a single manufacturer... 10. Equipment furnished shall be the responsibility of a single manufacturer... 11. Equipment furnished shall be the responsibility of a single manufacturer... 12. Equipment furnished shall be the responsibility of a single manufacturer... 13. Equipment furnished shall be the responsibility of a single manufacturer... 14. Equipment furnished shall be the responsibility of a single manufacturer... 15. Equipment furnished shall be the responsibility of a single manufacturer... 16. Equipment furnished shall be the responsibility of a single manufacturer... 17. Equipment furnished shall be the responsibility of a single manufacturer... 18. Equipment furnished shall be the responsibility of a single manufacturer... 19. Equipment furnished shall be the responsibility of a single manufacturer... 20. Equipment furnished shall be the responsibility of a single manufacturer...

NELSON PARTNERS ARCHITECTS & PLANNERS. Hill Country Galleria, Inc. Austin, Texas. 12111 North Saddleback Road, Suite 4000, San Antonio, Texas 78244. 4624414000. nelsonpartners.com

Lighting Consultant. TALLIE TAYLOR. 12111 North Saddleback Road, Suite 4000, San Antonio, Texas 78244. 4624414000. tallietaylor.com

HILL COUNTRY GALLERIA SITE IMPROVEMENTS. HIGHWAY 77 AND GALLERIA PARKWAY CITY OF BEE CAVE, TEXAS 78738

Date: June 21, 2011

Project No. 214111

L7001 LIGHTING GENERAL NOTES

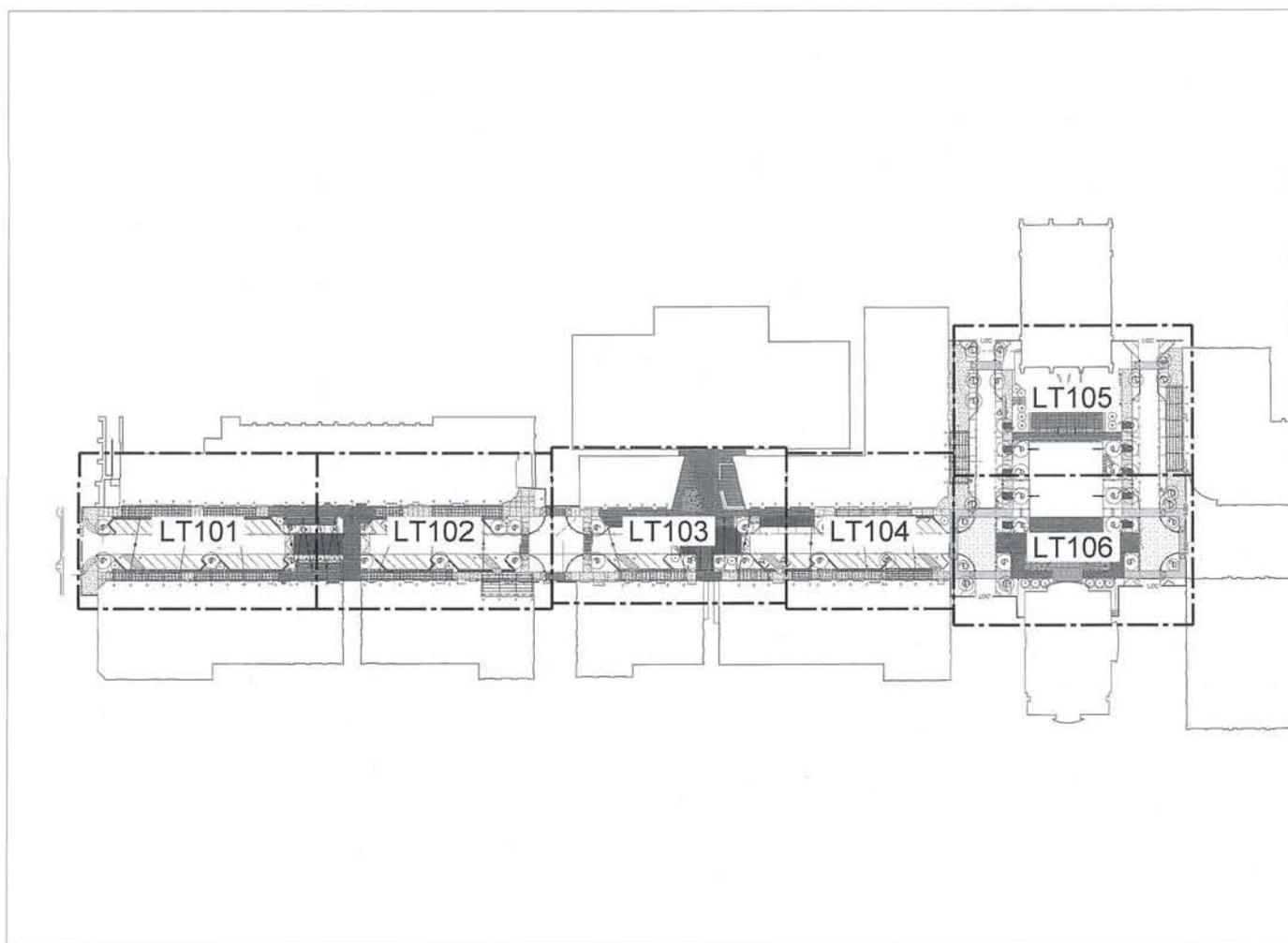
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HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date:
June 23, 2016

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Project No.
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LT100
OVERALL SITE
LIGHTING PLAN



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13112 North Slaughter Road
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San Antonio, Arizona 78244
t. 214.343.4400
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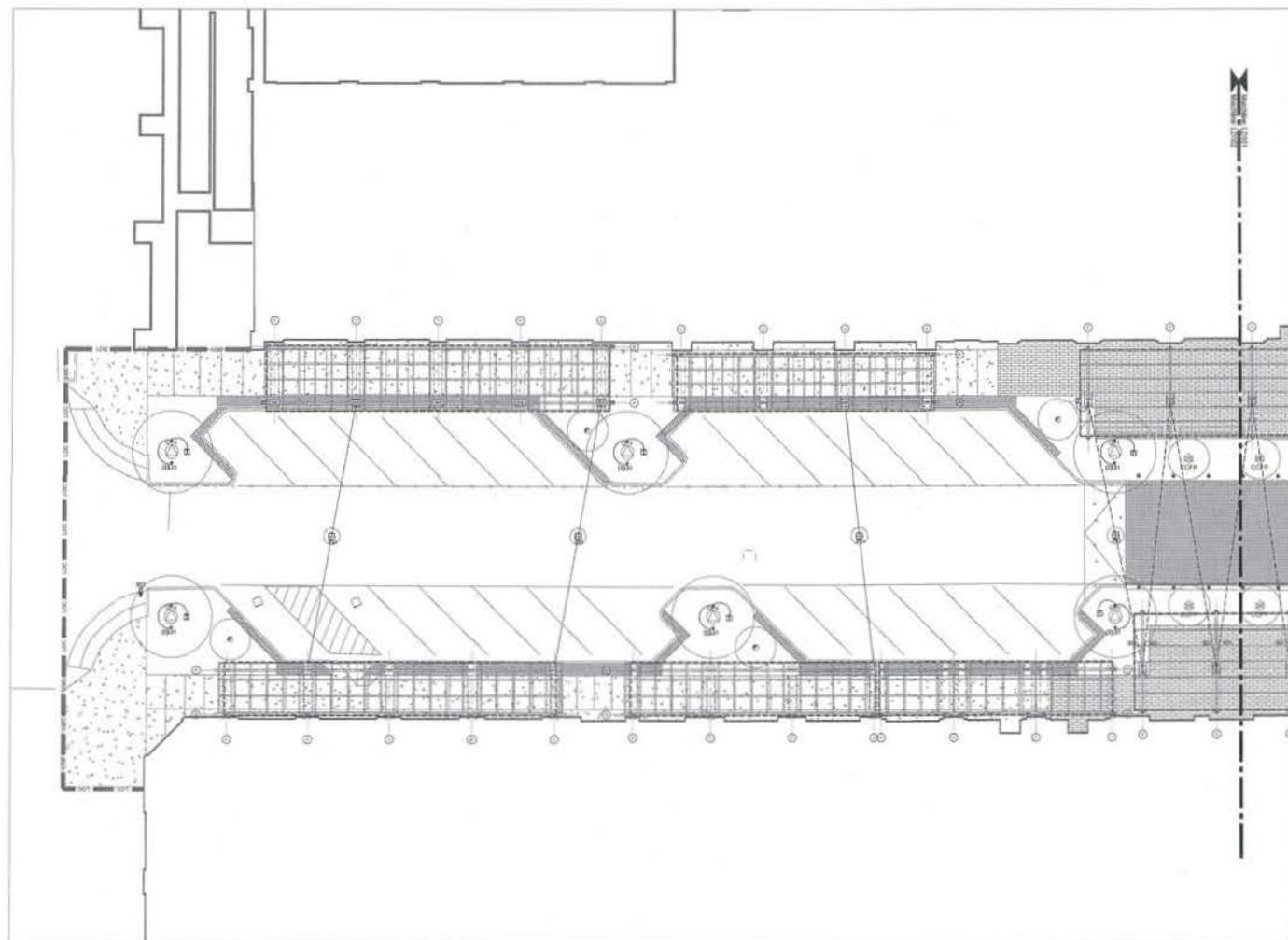
Lighting Consultant

**HILL COUNTRY GALLERIA
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HIGHWAY 71 AND GALLERIA PARKWAY
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Project No.
216111
LT101
ENLARGED SITE
LIGHTING PLAN



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2212 North Scurlock Road
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Lighting Consultant

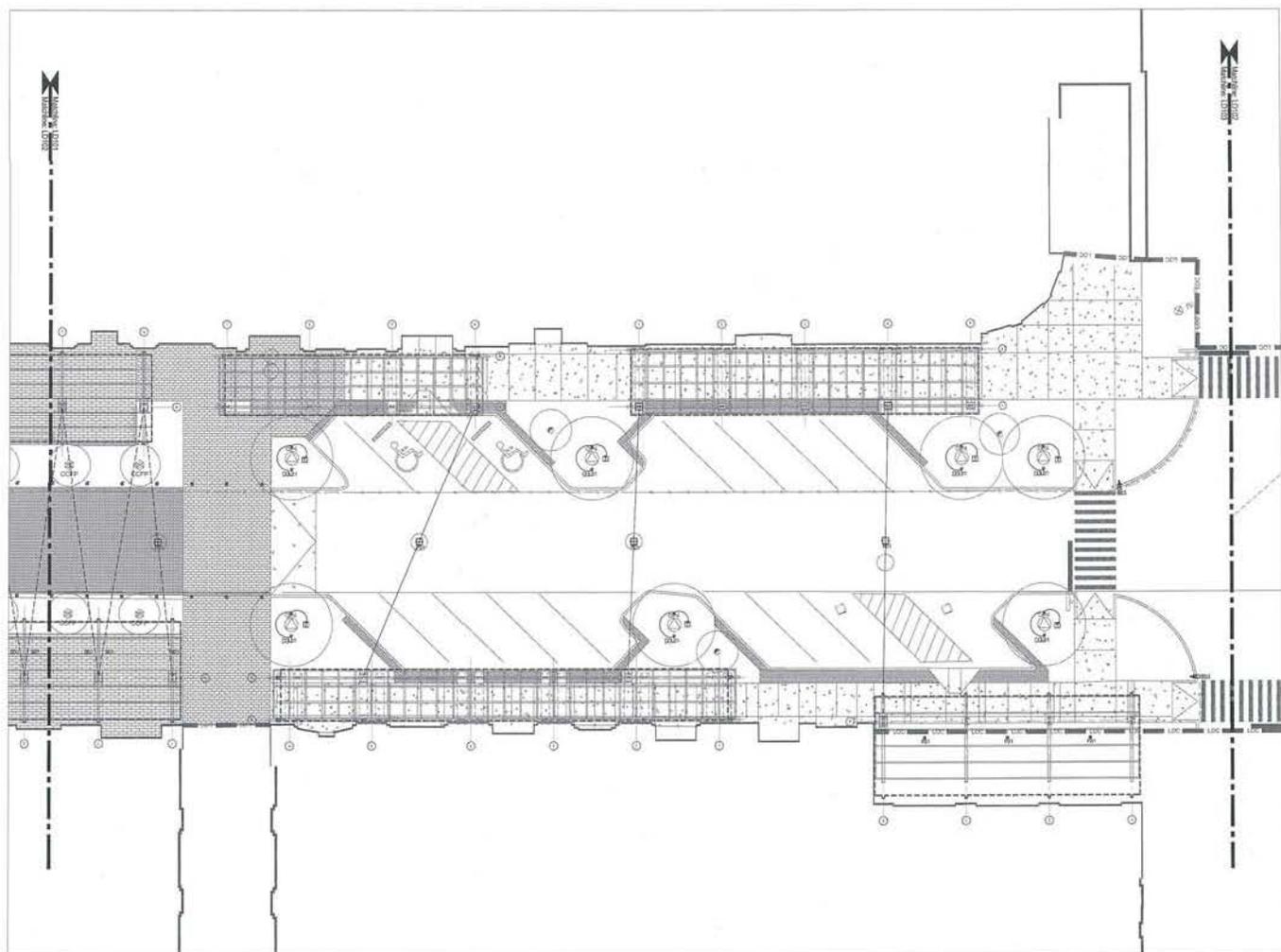
**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78726

Date
JUNE 23, 2018

Site plan showing proposed lighting layout. All lighting fixtures are to be installed in accordance with the approved site plan. The lighting layout is subject to change without notice.

Project No.
216111

LT102
ENLARGED SITE
LIGHTING PLAN

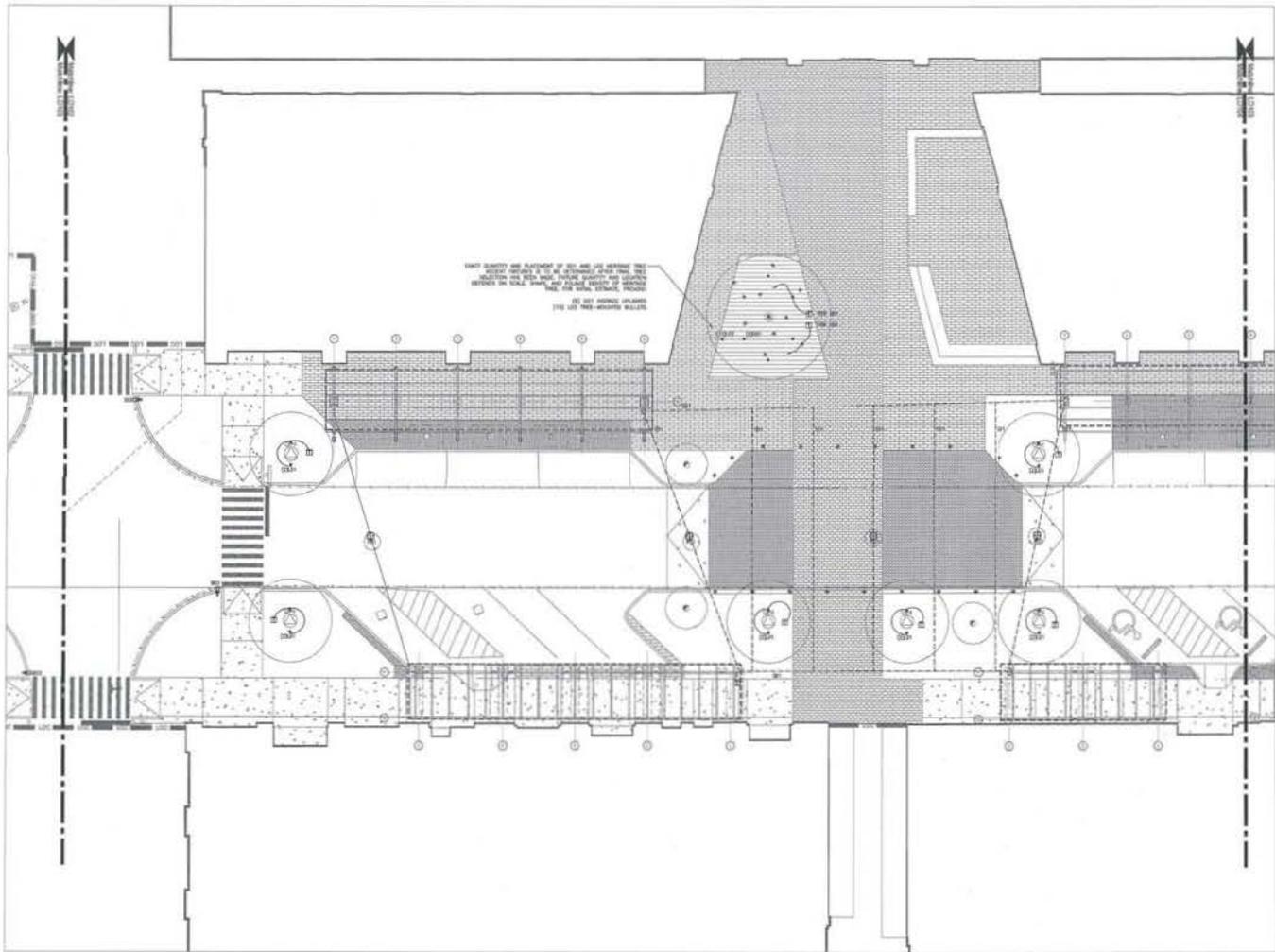


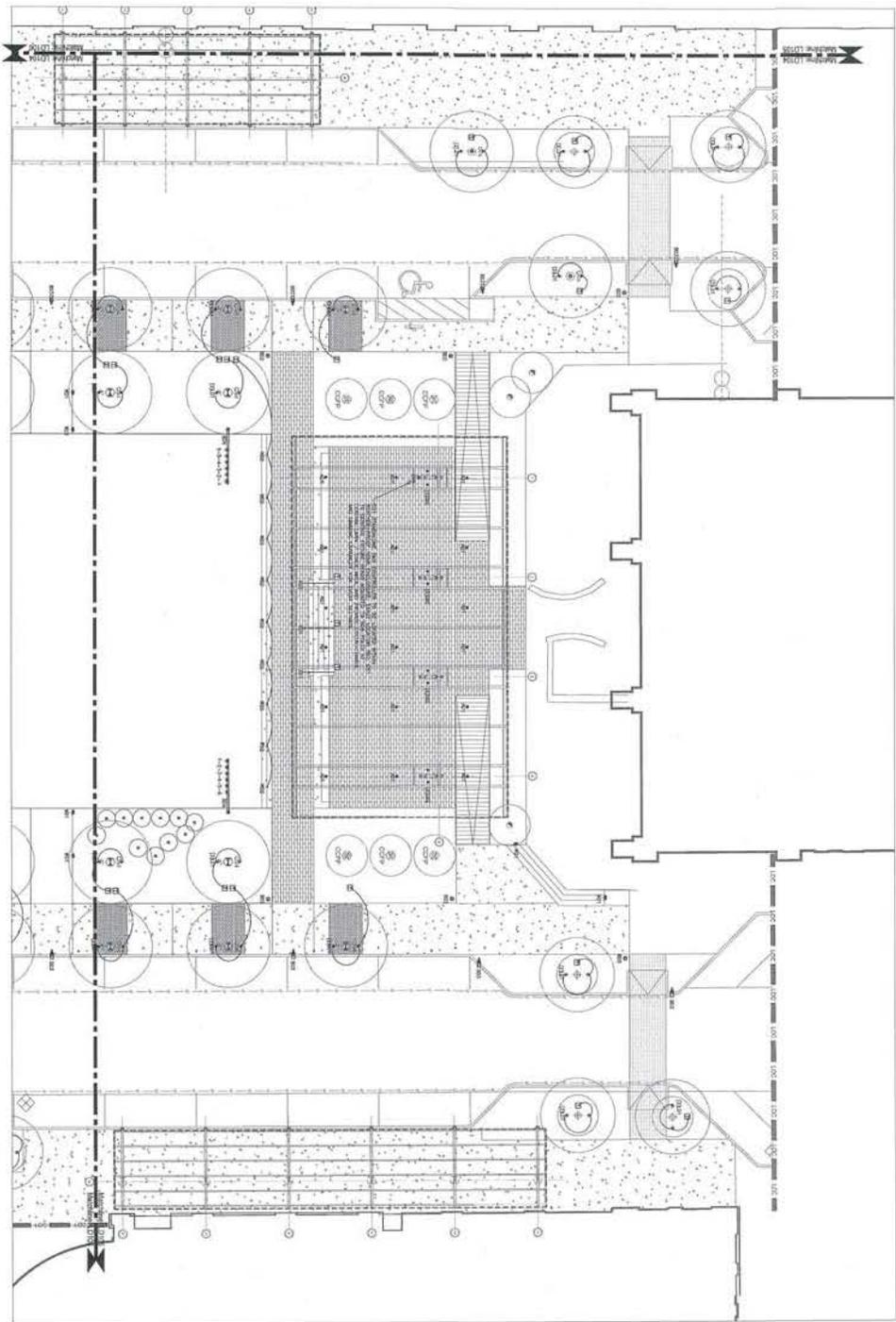
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HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date: **April 22, 2018**

Project No.
214111

LT103
ENLARGED SITE
LIGHTING PLAN





**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**

HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

**NELSEN
PATTEN**
ARCHITECTS & PLANNERS
Houston, Texas, Inc.
2221 West Loop South, Suite 400
Houston, Texas 77027
713.865.1234
www.nelsenpatten.com

DATE: 08/21/2014
DRAWN BY: [Name]
CHECKED BY: [Name]

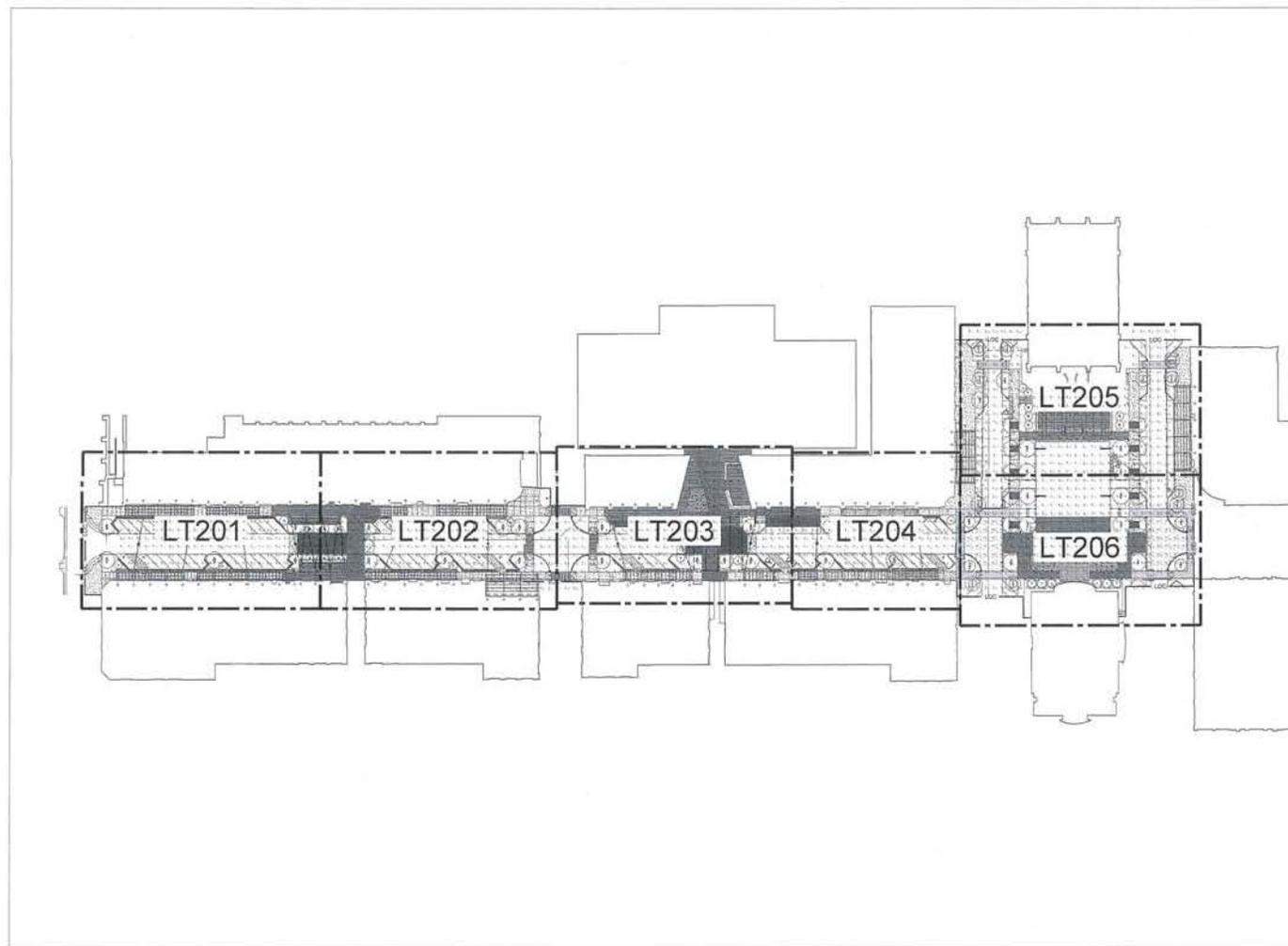
PROJECT NO: L1105
SHEET: 1 OF 1
TITLE: SITE IMPROVEMENT LAYOUT PLAN

**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
June 22, 2018

Project No.
314111

LT200
OVERALL SITE
PHOTOMETRIC
PLAN



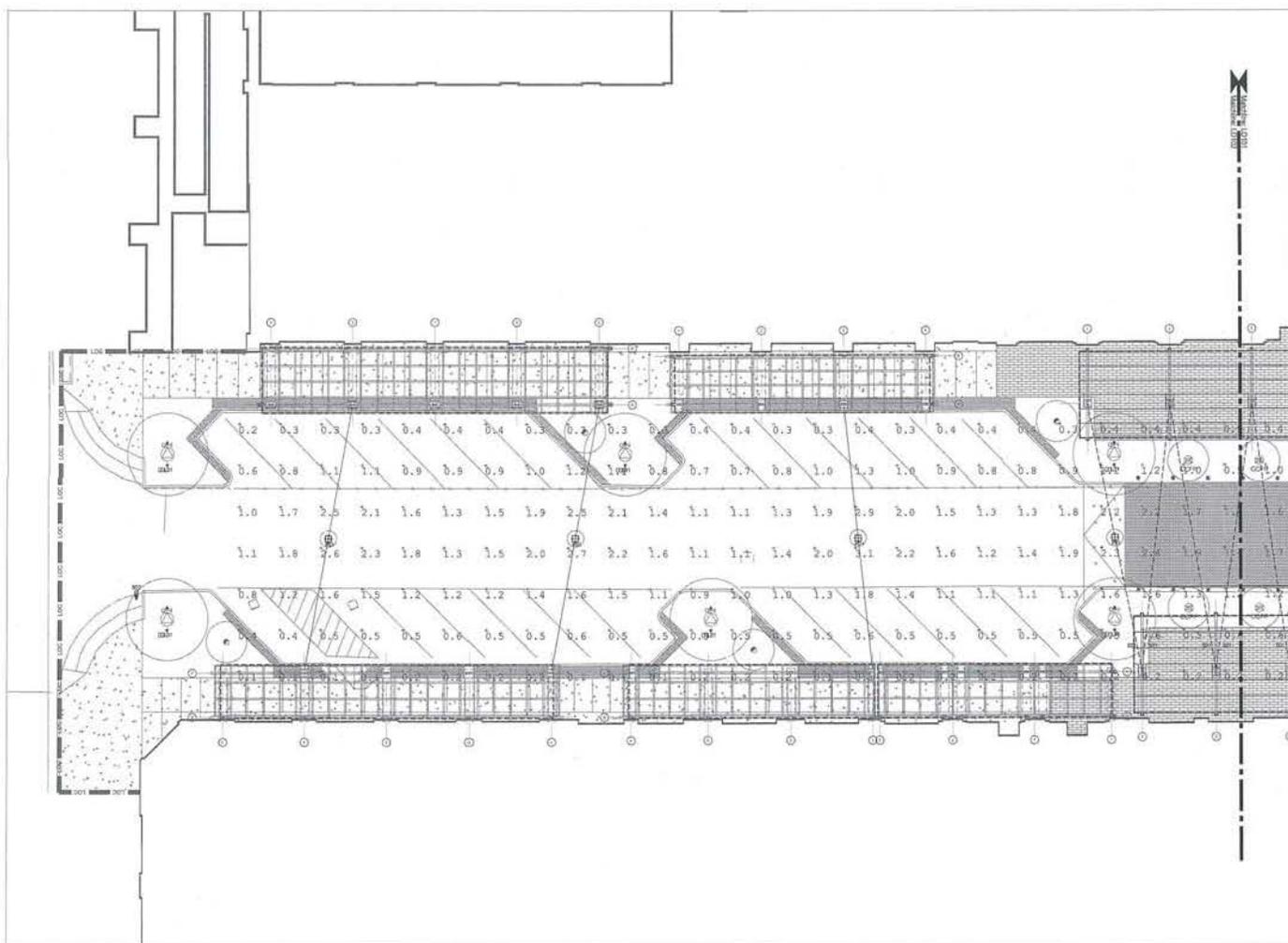
**HILL COUNTRY GALLERIA
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Project No.
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LT201
ENLARGED SITE
PHOTOMETRIC
PLAN



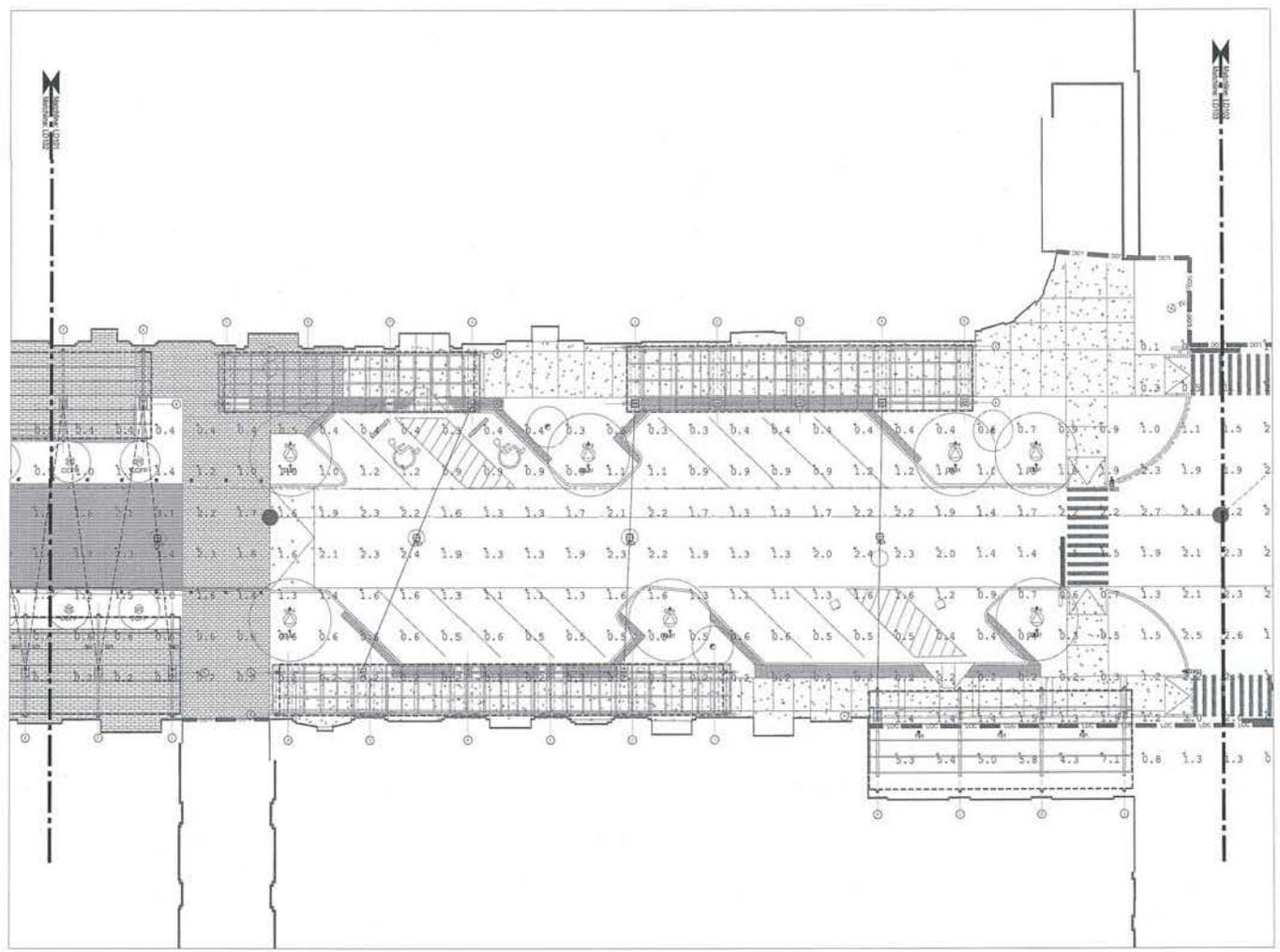
**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
June 23, 2016

Examples are not intended to represent
actual conditions. All lighting fixtures and
equipment shall be as specified in the
contract documents and approved by the
City of Bee Cave.

Project No.
304111

LT202
ENLARGED SITE
PHOTOMETRIC
PLAN



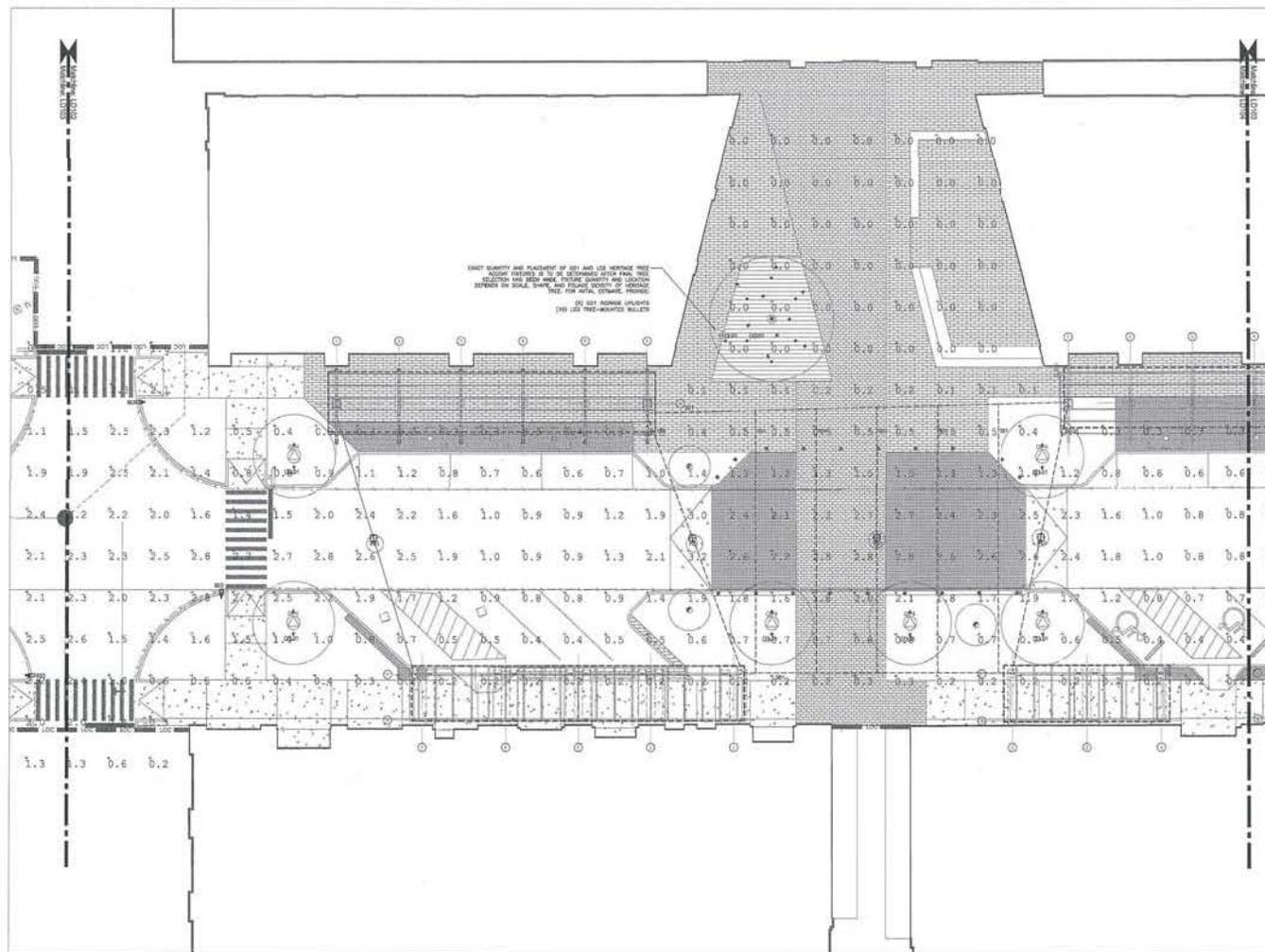
**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
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CITY OF BEE CAVE, TEXAS 78738

Date
June 23, 2016

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Project No.
201611

LT203
ENLARGED SITE
PHOTOMETRIC
PLAN



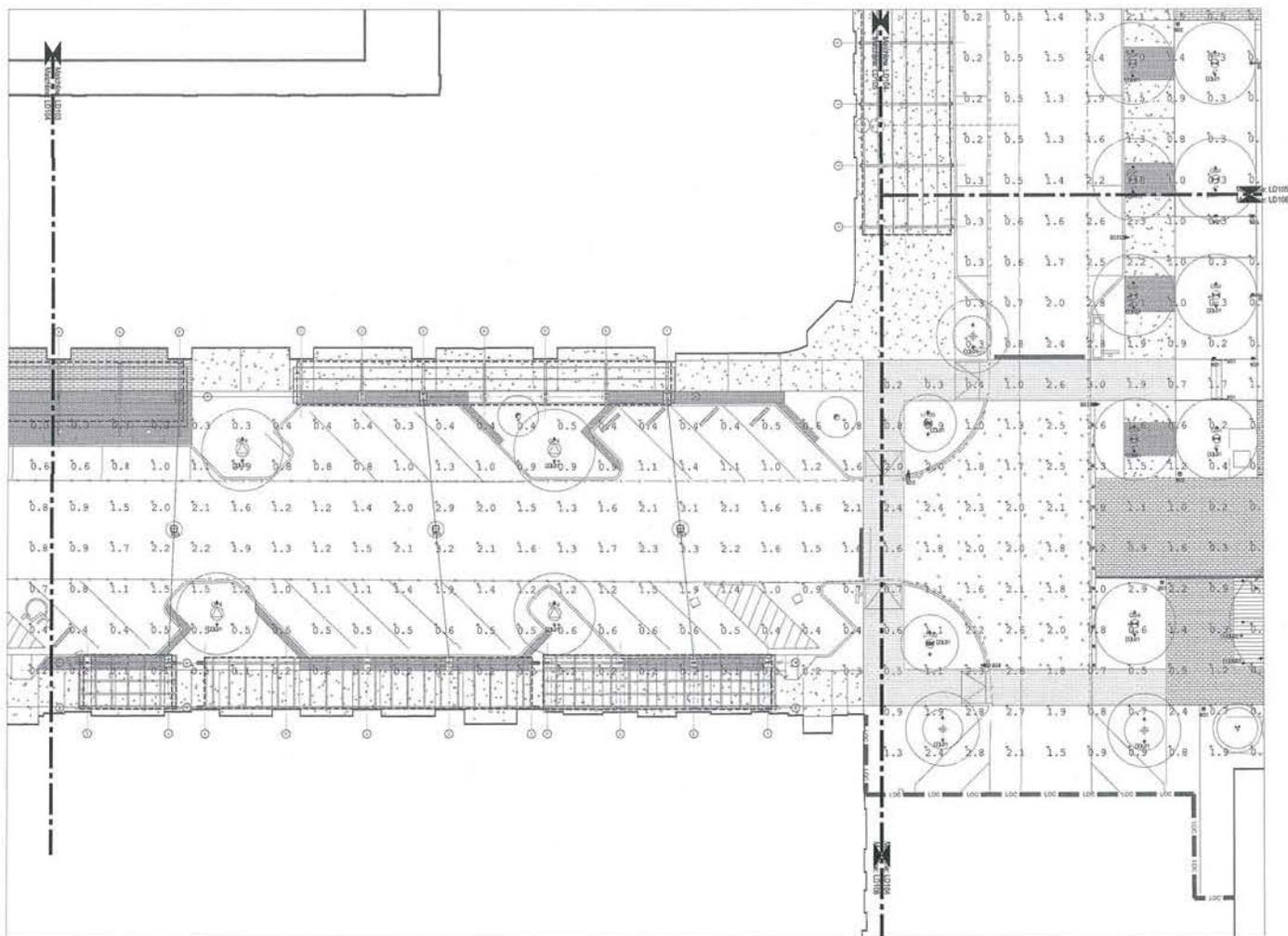
**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 77 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
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LT204
ENLARGED SITE
PHOTOMETRIC
PLAN



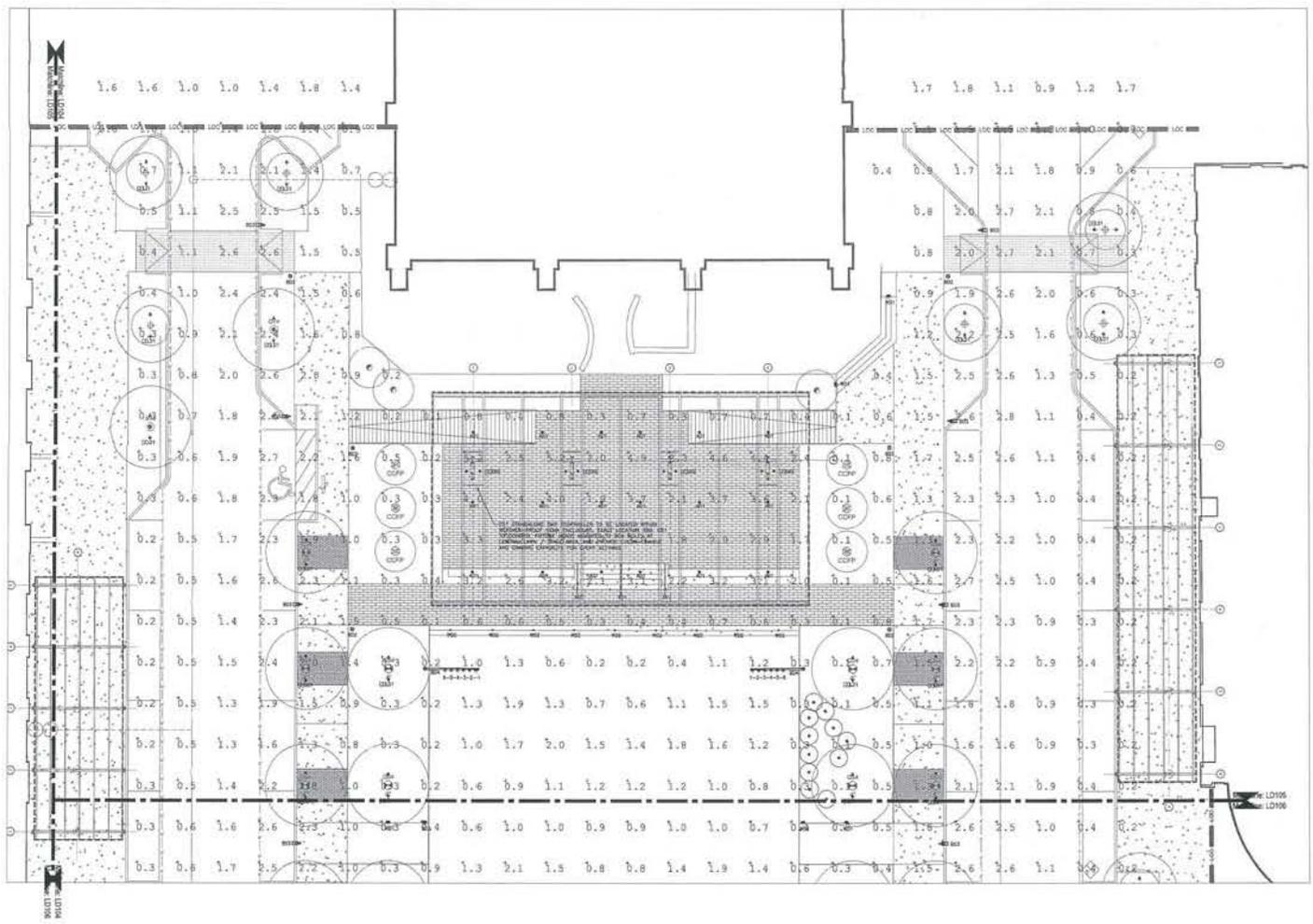
**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
June 23, 2016

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Project No.
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LT205
ENLARGED SITE
PHOTOMETRIC
PLAN



**HILL COUNTRY GALLERIA
SITE IMPROVEMENTS**
HIGHWAY 71 AND GALLERIA PARKWAY
CITY OF BEE CAVE, TEXAS 78738

Date
June 23, 2016

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Project No.
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LT206
ENLARGED SITE
PHOTOMETRIC
PLAN

