

ORDINANCE NO. 425

AN ORDINANCE OF THE CITY OF BEE CAVE, TEXAS (“CITY”) AMENDING ZONING FOR THE DEVELOPMENT KNOWN AS UPLANDS DRIVE FROM NEIGHBORHOOD SERVICES (“NS”) TO NEIGHBORHOOD SERVICES PLANNED DEVELOPMENT DISTRICT (“NS-PDD”) FOR THE PROPERTY DESCRIBED AS LOT 1, BLOCK C OF THE FINAL PLAT OF THE UPLANDS PHASE ONE, CITY OF BEE CAVE , TRAVIS COUNTY, TEXAS, AS RECORDED IN VOL. 96, PAGES 197-201 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS; WHICH LAND IS LOCATED GENERALLY NORTH OF SH-71 AND EAST OF RM 2244 AND WHICH LAND IS MORE PARTICULARLY DESCRIBED IN EXHIBIT “A” ATTACHED HERETO (“PROPERTY DESCRIPTION”); APPROVING A CONCEPT PLAN FOR THE PROJECT, ATTACHED HERETO AS EXHIBIT “B” (“CONCEPT PLAN”); APPROVING SPECIAL DEVELOPMENT STANDARDS AND CONDITIONS, ATTACHED HERETO AS EXHIBIT “C” (“DEVELOPMENT STANDARDS”); APPROVING A TREE SURVEY FOR THE PROJECT ATTACHED HERETO AS EXHIBIT “D” (TREE SURVEY); PROVIDING FOR SEVERABILITY; PROVIDING FOR FINDINGS OF FACT, EFFECTIVE DATE, AND PROPER NOTICE AND MEETING.

WHEREAS, the Planning and Zoning Commission and the City Council of the City, in compliance with the laws of the State of Texas, have given the requisite notices by publication and otherwise, and have held two public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and the City Council of the City is of the opinion and finds that said zoning change should be granted and that the Comprehensive Zoning Ordinance and Map should be amended as set forth herein; and

WHEREAS, the Property described in Exhibit “A”, attached hereto is a part of the Uplands, Phase One Final Plat dated February 20, 1996; and

WHEREAS, the plat was approved by the City with the verbiage “Commercial” designated for the Property; and

WHEREAS, at the time of plat approval the Property was zoned Community Commercial “CC”, having been rezoned on August 8, 1995 via Ordinance 95-08-08-D from a previous designation as Development Residence District; and

WHEREAS, Ordinance 00-08-29-A, adopted August 29, 2000 supplanted the

Community Commercial zoning designation with Neighborhood Services (“NS”); and

WHEREAS, for a project to “vest” under Chapter 245 of the Local Government Code the City must have fair notice of the project and the nature of the permit sought; and

WHEREAS, the Plat does not appear to contain information sufficient to demonstrate fair notice as established by the City’s Code of Ordinance Sec. 30.01.007(d)(1); and

WHEREAS, the City’s Code of Ordinances offers the applicant the opportunity to pursue a ruling from the City with regard to vested rights under Chapter 245; and

WHEREAS, the City’s Code of Ordinances Sec. 30.01.007(d)(9) also allows the applicant to pursue an alternative negotiated process between the City and the applicant which results in a zoning ordinance that reflects a combination of current ordinances and ordinances that would govern as if the project had vested rights under Chapter 245; and

WHEREAS, the applicant chose to pursue this alternative process and has worked with the City in good faith to develop this zoning ordinance; and

WHEREAS, Sec. 32.03.015 of the City Code of Ordinances provides that the Planned Development District is intended to implement generally the goals and objective of the City’s comprehensive plan, and encourage flexible and creative planning to ensure the compatibility of land uses, and to allow for the adjustment of changing demands to meet the current needs of the community; and

WHEREAS, the proposed Project supports many of the objectives of the City’s Comprehensive Plan and the City finds that the Project meets the objectives of the Comprehensive Plan and that the proposed uses are compatible with adjoining land uses; and

WHEREAS, any protest made against the proposed change of Zoning Classification has been duly considered by the City Council.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BEE CAVE, TEXAS:

SECTION 1. Findings of Fact. All of the above premises are hereby found to be true and correct legislative and factual findings of the City and are hereby approved and incorporated into the body of this Ordinance as if copied in their entirety.

SECTION 2. Amendment. That City Zoning Ordinance and Map of the City of Bee Cave, Texas, be, amended so as to grant a change of zoning for the Property from Neighborhood Services (“NS”) to Neighborhood Services Planned Development District (“NS-PDD”) for the Property described in Exhibit “A”.

SECTION 3. Development Governance. The base zoning district upon which this PD District is based is Neighborhood Services. The Property shall be developed in compliance with this Ordinance, the Concept Plan attached as Exhibit “B,” and the terms and conditions of the City’s Code of Ordinances, except as modified by the Planned Development Standards attached hereto as Exhibit “C”. The term “City’s Code of Ordinances” shall mean any ordinances and requirements in effect as the effective date of this Ordinance.

SECTION 4. Concept Plan. The Concept Plan for this Planned Development District, which is attached as Exhibit “B”, is made a part hereof for all purposes and is hereby approved for said Planned Development District as required by Chapter 32.03.015 of the City’s Code of Ordinances. Any proposed use or development depicted on the Concept Plan shall not be deemed authorized or approved by the City of Bee Cave until a site plan (“Site Plan”) is approved for such use and/or development in accordance with the terms and conditions of this Ordinance.

SECTION 5. Uses. The City Council for the City hereby expressly permits and approves the uses as listed and described in the Development Standards, Exhibit “C”, which is attached hereto and incorporated herein for all purposes. If there is a discrepancy between Exhibit “C” and any other part of this Ordinance, the uses as described in Exhibit “C” shall control.

SECTION 6. Project. The City Council would not necessarily authorize such change of zoning to allow such uses, authorize a waiver of the City’s requirements or subdivision regulation or authorize any other waivers, absent the development of the Property in accordance with the Project depicted in Exhibit “B” and according to the Development Standards described in Exhibit “C. The authority granted by this Ordinance is therefore specific to this Project as it has been represented in the Applicant’s application, as depicted in the Concept Plan and as described in the Development Standards unless this Ordinance is subsequently amended or modified by approval of the City Council.

SECTION 7. Severability. That should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjusted or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional.

SECTION 8. Repealer. All ordinances or parts of ordinances in force regarding the zoning of this Property when the provisions of this Ordinance become effective are hereby

repealed.

SECTION 9. Proper Meeting. It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government Code.

SECTION 10. Effective Date. That this Ordinance shall take effect immediately from and after its passage.

PASSED, APPROVED and ADOPTED this 28th day of April, 2020.

CITY OF BEE CAVE:


Kara King, Mayor

ATTEST:


Kaylynn Holloway, City Secretary

[SEAL]

APPROVED AS TO FORM:


City Attorney
DENTON NAVARRO ROACH BERNAL & ZECH, PC

Exhibit "A"

Property Description

LOT 1, BLOCK C, FINAL PLAT OF THE UPLANDS PHASE SUBDIVISION AS RECORDED IN VOL. 96, PAGES 197-201 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

Exhibit "B"

Concept Plan

UPLANDS DRIVE SITE CONCEPTUAL PLANS

UPLANDS DRIVE
SITE CONCEPTUAL PLANS
A284-0403

SUBMITTED FOR APPROVAL BY:
LJA ENGINEERING, INC.



S. DANNY MILLER, P.E. #82725
LICENSED PROFESSIONAL ENGINEER

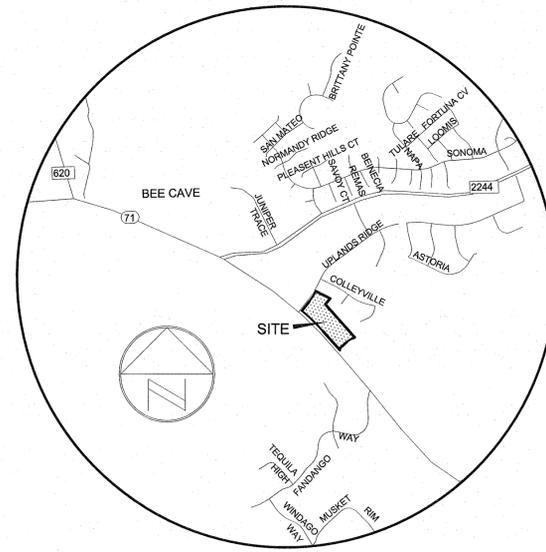
2-18-20
DATE



REVIEWED BY:

CITY OF BEE CAVE

DATE



LOCATION MAP
NOT TO SCALE

SHEET
No.

SHEET LIST TABLE

SHEET TITLE

| | |
|----|--|
| 01 | CV01 COVER SHEET |
| 02 | OV01 OVERALL SITE PLAN |
| 03 | SP01 SITE PLAN PHASE 1 - RESTAURANT & RETAIL |
| 04 | SP02 SITE PLAN PHASE 2 - SHARED ACCESS & DRIVE |
| 05 | SP03 SITE PLAN PHASE 3 - RESTAURANT & RETAIL |
| 06 | SP04 SITE PLAN PHASE 4 - SENIOR LIVING |
| 07 | LS01 ILLUSTRATIVE SITE PLAN |
| 08 | LS02 OPEN SPACE EXHIBIT |
| 09 | LS03 ILLUSTRATIVE SITE SECTIONS |

OFFICIAL SUBMITTAL DATE: NOVEMBER 26, 2018

LEGAL DESCRIPTION

LOT 1, BLOCK C, UPLANDS PHASE ONE, Vol 96, Pg. 197, TRAVIS COUNTY PLAT OF RECORDS

BENCHMARK INFORMATION

TBM #1: SQUARE CUT ON THE NORTHWEST CORNER OF A CONCRETE AND STONE WALL ALONG THE NORTH-EAST RIGHT-OF-WAY OF STATE HIGHWAY 71, APPROXIMATELY 750' FEET SOUTHEAST OF THE INTERSECTION OF THE NORTHWEST CORNER OF LOT 1, BLOCK C, OF SAID UPLANDS PHASE ONE AND THE SOUTH RIGHT-OF-WAY LINE OF UPLANDS RIDGE DRIVE.

ELEVATION = 889.86'
VERTICAL DATUM: NAVD 88 (GEOID 09)

TBM #2: SQUARE CUT ON THE TOP OF A CONCRETE CURB ALONG THE SOUTH RIGHT-OF-WAY LINE OF UPLANDS RIDGE DRIVE, APPROXIMATELY 65' NORTHEAST OF THE INTERSECTION OF THE NORTHWEST CORNER OF LOT 1, BLOCK C, OF SAID UPLANDS PHASE ONE AND THE SOUTH RIGHT-OF-WAY LINE OF UPLANDS RIDGE DRIVE.

ELEVATION = 881.93'
VERTICAL DATUM: NAVD 88 (GEOID 09)

OWNER / DEVELOPER: MITCHEL & ROSE T WONG
1009 E 40TH ST STE 200
AUSTIN, TX 78751-4612

SURVEYOR: CHAPARRAL PROFESSIONAL
LAND SURVEYING, INC.
3500 McCALL LANE
AUSTIN, TX 78744
PHONE #: 512.443.1724
FAX #: 512.389.0943
T.B.P.L.S. FIRM NO. 10124500

ENGINEER: LJA ENGINEERING, INC.
7500 RIALTO BOULEVARD
BUILDING II, SUITE 100
AUSTIN, TX 78736
CONTACT PERSON: DANNY MILLER, P.E.
PHONE #: 512.439.4700
FAX #: 512.439.4716
FRN-F-1386

LANDSCAPE ARCHITECT: LEE & ASSOCIATES
8601 RANCH RD 2222 #290,
AUSTIN, TX 78730
CONTACT PERSON: AMBER ROTHWELL
PHONE (512) 345-8477

NOTES:

- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF BEE CAVE MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- THIS PROJECT IS LOCATED IN THE LITTLE BARTON CREEK WATERSHED. THIS PROJECT IS WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.
- NO PORTION OF THE PROPOSED IMPROVEMENTS ARE WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) # 48453C0420H, TRAVIS COUNTY, TEXAS, DATED SEPTEMBER 26, 2008.
- THIS PROJECT IS LOCATED IN THE CITY OF BEE CAVE, TEXAS.
- AN NPS PERMIT IS REQUIRED PRIOR TO CONSTRUCTION OF THE SITE.
- ONSITE WATER QUALITY & DETENTION FACILITIES WILL BE PROVIDED FOR THIS PROJECT AS SHOWN HEREIN.

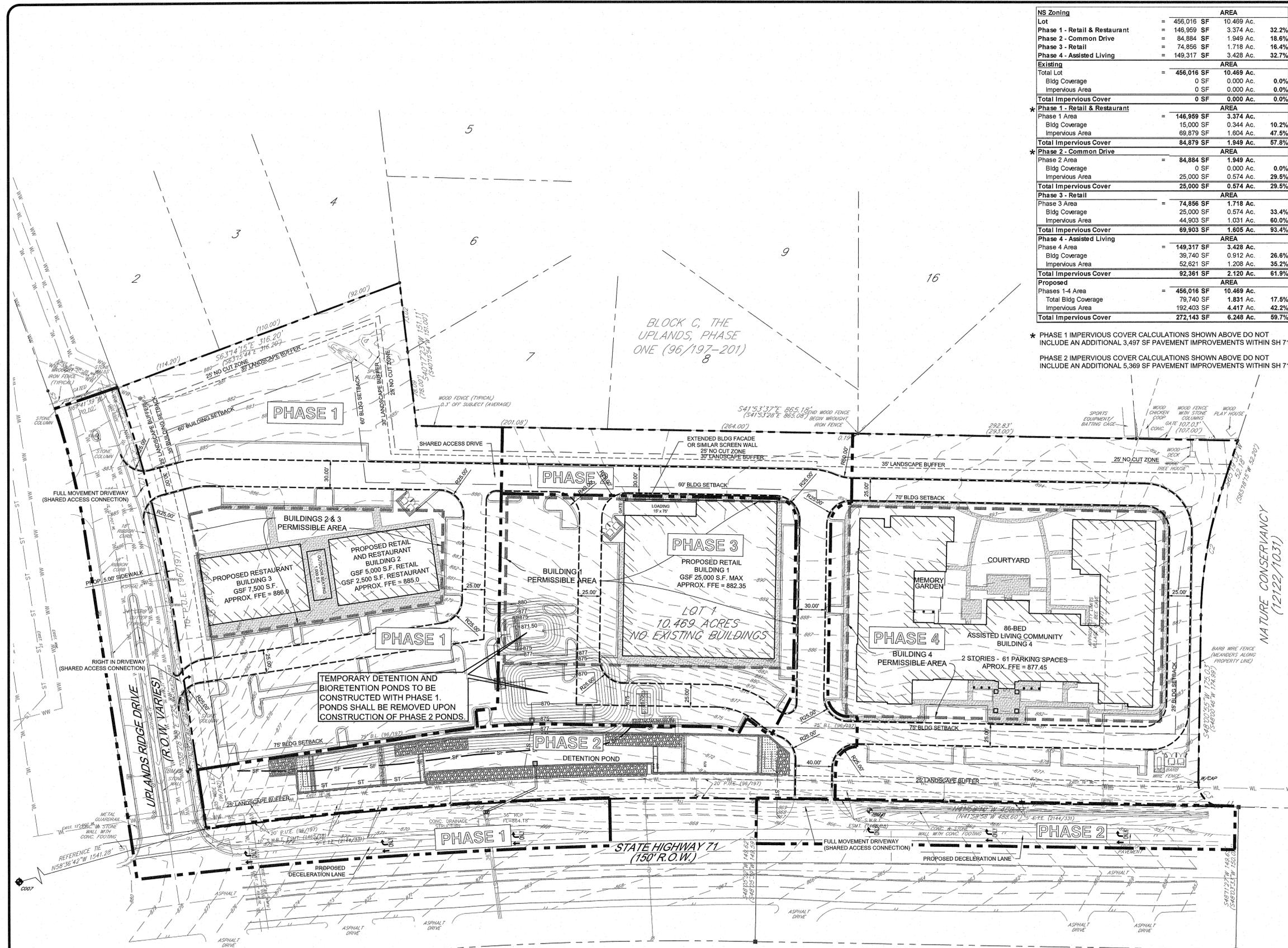
REVISIONS / CORRECTIONS

| Number | Description | Revise (R) Add (A) Void (V) Sheet No.'s | Total # of Sheets in Plan Set | Net Change Imp. Cover (sq. ft.) | Total Site Imp. Cover (sq. ft.) % | City of Bee Cave Approval Date | Date Imaged |
|--------|-------------|---|-------------------------------|---------------------------------|-----------------------------------|--------------------------------|-------------|
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| | | | | | | | |

LJA Engineering, Inc.

7500 Rialto Boulevard
Building II, Suite 100
Austin, Texas 78735

Phone 512.439.4700
Fax 512.439.4716
FRN-F-1386



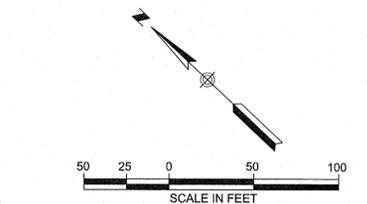
BLOCK C, THE UPLANDS, PHASE ONE (96/197-201)

STATE HIGHWAY 71 (150' R.O.W.)

| NS Zoning | | AREA | |
|--|-------------------|------------------|--------------|
| Lot | = 456,016 SF | 10.469 Ac. | |
| Phase 1 - Retail & Restaurant | = 146,959 SF | 3.374 Ac. | 32.2% |
| Phase 2 - Common Drive | = 84,884 SF | 1.949 Ac. | 18.6% |
| Phase 3 - Retail | = 74,856 SF | 1.718 Ac. | 16.4% |
| Phase 4 - Assisted Living | = 149,317 SF | 3.428 Ac. | 32.7% |
| Existing | | AREA | |
| Total Lot | = 456,016 SF | 10.469 Ac. | |
| Bldg Coverage | 0 SF | 0.000 Ac. | 0.0% |
| Impervious Area | 0 SF | 0.000 Ac. | 0.0% |
| Total Impervious Cover | 0 SF | 0.000 Ac. | 0.0% |
| * Phase 1 - Retail & Restaurant | | AREA | |
| Phase 1 Area | = 146,959 SF | 3.374 Ac. | |
| Bldg Coverage | 15,000 SF | 0.344 Ac. | 10.2% |
| Impervious Area | 69,879 SF | 1.604 Ac. | 47.5% |
| Total Impervious Cover | 84,879 SF | 1.949 Ac. | 67.8% |
| * Phase 2 - Common Drive | | AREA | |
| Phase 2 Area | = 84,884 SF | 1.949 Ac. | |
| Bldg Coverage | 0 SF | 0.000 Ac. | 0.0% |
| Impervious Area | 25,000 SF | 0.574 Ac. | 29.5% |
| Total Impervious Cover | 25,000 SF | 0.574 Ac. | 29.5% |
| Phase 3 - Retail | | AREA | |
| Phase 3 Area | = 74,856 SF | 1.718 Ac. | |
| Bldg Coverage | 25,000 SF | 0.574 Ac. | 33.4% |
| Impervious Area | 44,903 SF | 1.031 Ac. | 60.0% |
| Total Impervious Cover | 69,903 SF | 1.605 Ac. | 93.4% |
| Phase 4 - Assisted Living | | AREA | |
| Phase 4 Area | = 149,317 SF | 3.428 Ac. | |
| Bldg Coverage | 39,740 SF | 0.912 Ac. | 26.6% |
| Impervious Area | 52,621 SF | 1.208 Ac. | 35.2% |
| Total Impervious Cover | 92,361 SF | 2.120 Ac. | 61.9% |
| Proposed | | AREA | |
| Phases 1-4 Area | = 456,016 SF | 10.469 Ac. | |
| Total Bldg Coverage | 79,740 SF | 1.831 Ac. | 17.5% |
| Impervious Area | 192,403 SF | 4.417 Ac. | 42.2% |
| Total Impervious Cover | 272,143 SF | 6.248 Ac. | 59.7% |

* PHASE 1 IMPERVIOUS COVER CALCULATIONS SHOWN ABOVE DO NOT INCLUDE AN ADDITIONAL 3,497 SF PAVEMENT IMPROVEMENTS WITHIN SH 71.

PHASE 2 IMPERVIOUS COVER CALCULATIONS SHOWN ABOVE DO NOT INCLUDE AN ADDITIONAL 5,369 SF PAVEMENT IMPROVEMENTS WITHIN SH 71.



| PROPOSED | EXISTING | DESCRIPTION |
|----------|----------|---|
| --- | --- | PROPERTY BOUNDARY |
| --- | --- | PERMISSIBLE BUILDING AREA |
| --- | --- | PHASE LINE |
| --- | --- | FIRE LANE |
| --- | --- | ACCESSIBLE ROUTE |
| --- | --- | CONCRETE SIDEWALK |
| --- | --- | DECOMPOSED GRANITE WALKWAY |
| --- | --- | SIDEWALK RAMP |
| --- | --- | HANDICAPPED PARKING SPACE & SIDEWALK RAMP |
| --- | --- | CROSSWALK |
| --- | --- | STORM SEWER LINE |
| --- | --- | WASTEWATER LINE |
| --- | --- | WATER LINE |
| --- | --- | WATER VALVE |
| --- | --- | FIRE HYDRANT |
| --- | --- | WASTEWATER MANHOLE |
| --- | --- | STORMSEWER MANHOLE |
| --- | --- | 1/2" REBAR FOUND (OR AS NOTED) |
| --- | --- | 1/2" REBAR WITH CAP FOUND |
| --- | --- | 1/2" REBAR WITH CHAPARRAL CAP SET |
| --- | --- | WATER METER |
| --- | --- | UTILITY POLE |
| --- | --- | OVERHEAD UTILITIES |
| --- | --- | ELEC. UTILITY |
| --- | --- | ELEC. MANHOLE |
| --- | --- | LIGHT POLE |
| --- | --- | TELEPHONE UTILITY |
| --- | --- | UNDERGROUND FIBER OPTIC MARKER |
| --- | --- | TELEPHONE MANHOLE |
| --- | --- | UNDERGROUND GAS MARKER |
| --- | --- | CHAIN LINK FENCE |

BENCHMARK INFORMATION:
 TBM #1: SQUARE CUT ON THE NORTHWEST CORNER OF A CONCRETE AND STONE WALL ALONG THE NORTHWEST RIGHT-OF-WAY OF STATE HIGHWAY 71, APPROXIMATELY 750' FEET SOUTHEAST OF THE INTERSECTION OF THE NORTHWEST CORNER OF LOT 1, BLOCK C, OF SAID UPLANDS PHASE ONE AND THE SOUTH RIGHT-OF-WAY LINE OF UPLANDS RIDGE DRIVE.
 ELEVATION = 869.86'
 VERTICAL DATUM: NAVD 88 (GEOID 09)

TBM #2: SQUARE CUT ON THE TOP OF A CONCRETE CURB ALONG THE SOUTH RIGHT-OF-WAY LINE OF UPLANDS RIDGE DRIVE, APPROXIMATELY 65' NORTHEAST OF THE INTERSECTION OF THE NORTHWEST CORNER OF LOT 1, BLOCK C, OF SAID UPLANDS PHASE ONE AND THE SOUTH RIGHT-OF-WAY LINE OF UPLANDS RIDGE DRIVE.
 ELEVATION = 881.93'
 VERTICAL DATUM: NAVD 88 (GEOID 09)

- GENERAL NOTES:**
- BOUNDARY AND TOPOGRAPHIC/TREE FIELD TAKEN FROM A TOPOGRAPHIC AND TREE SURVEY OF LOT 1, BLOCK C, THE UPLANDS PHASE ONE, A SUBDIVISION OF RECORD IN VOLUME 96, PAGE 197 OF THE PLAT OF RECORDS OF TRAVIS COUNTY, TEXAS AS PREPARED BY ERIC J. DANNEHEIM RPLS No. 6075, CHAPARRAL PROFESSIONAL LAND SURVEYING, INC. DATED FEBRUARY 21, 2017.
 - THE SITE IS LOCATED IN THE EDWARDS AQUIFER CONTRIBUTING ZONE.
 - BUILDING SIZE, HEIGHT, AND USES SHOWN HEREON ARE FOR ILLUSTRATIVE PURPOSES ONLY AND SHALL BE GOVERNED BY EXHIBIT 'C' OF THE PDD ORDINANCE.

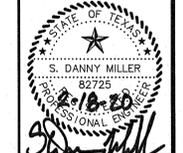
- PARKING NOTES:**
- ALL PARKING SPACES WILL BE MINIMUM AT LEAST 9 FEET IN WIDTH AND 18 FEET IN LENGTH AND PARKING ACCESS AISLES MUST BE MINIMUM 25 FEET WIDE.

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



UPLANDS DRIVE
 SITE CONCEPTUAL PLANS
 OVERALL SITE PLAN

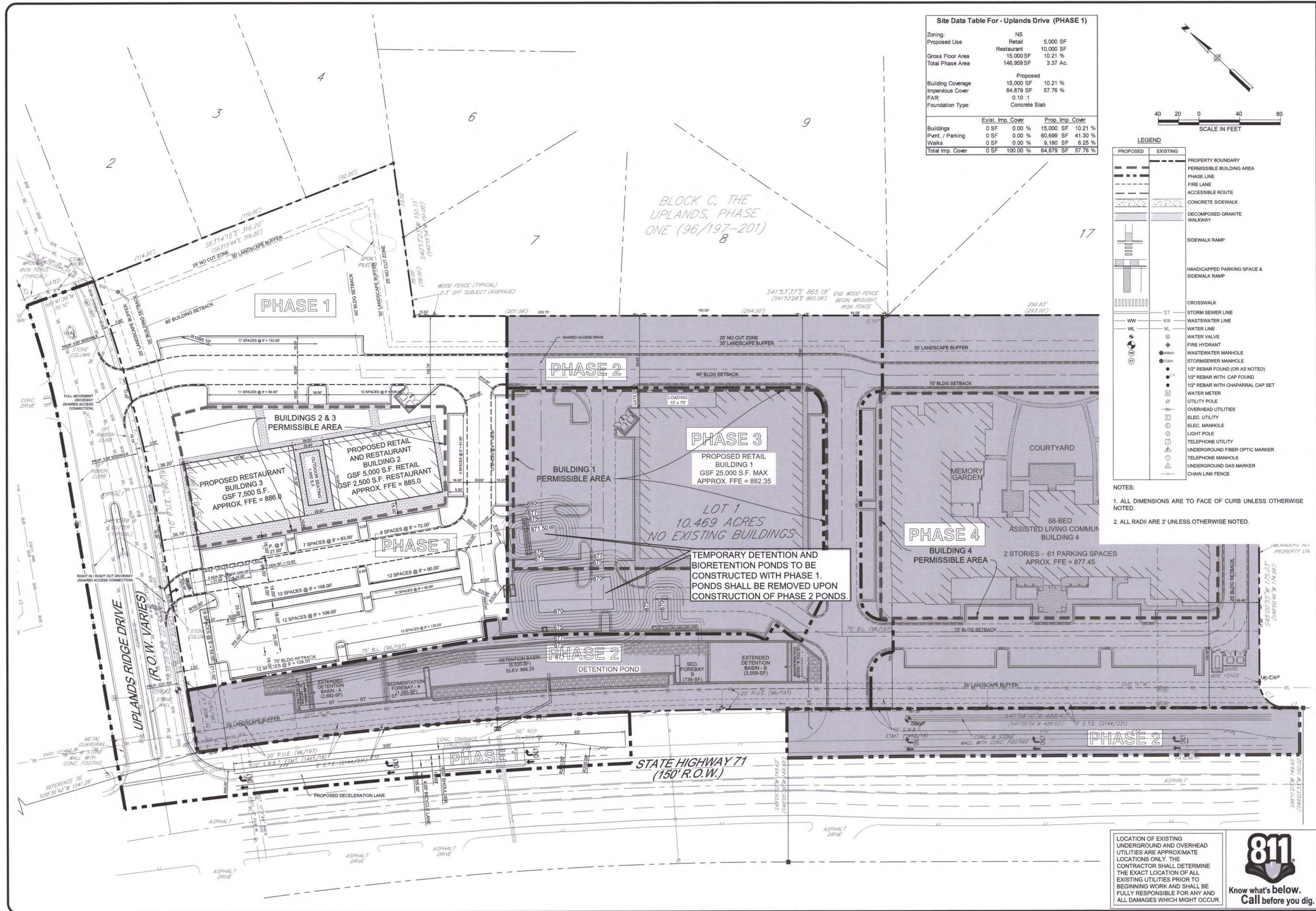
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LJA Engineering, Inc.
 Phone 512.439.4700
 Fax 512.439.4700
 FRN-F-1396

JOB NUMBER:
 A284-0403
 OV01
 SHEET NO.
02
 OF 09 SHEETS

LJA\284\0403 - Uplands Drive Conceptual Drawings\284-0403-P-01.dwg
 User: cesteron
 Plot Date: 2/28/2020 10:25:20 AM
 Plot Size: 11x17



Site Data Table For - Uplands Drive (PHASE 1)

| | | |
|--------------------|---------------|-------------------|
| Zoning: | NS | |
| Proposed Use: | Retail | 5,000 SF |
| | Restaurant | 10,000 SF |
| Gross Floor Area: | 15,000 SF | 10.21 % |
| Total Phase Area: | 146,959 SF | 3.37 Ac. |
| Building Coverage: | Proposed | 15,000 SF 10.21 % |
| Impervious Cover: | 84,879 SF | 57.76 % |
| FAR: | 0.10 | .1 |
| Foundation Type: | Concrete Slab | |

| | Exist. Imp. Cover | Prop. Imp. Cover |
|------------------|-------------------|-------------------|
| Buildings | 0 SF 0.00 % | 15,000 SF 10.21 % |
| Pwmt. / Parking | 0 SF 0.00 % | 60,699 SF 41.30 % |
| Walks | 0 SF 0.00 % | 9,180 SF 6.25 % |
| Total Imp. Cover | 0 SF 100.00 % | 84,879 SF 57.76 % |

LEGEND

| PROPOSED | EXISTING | DESCRIPTION |
|----------|----------|---|
| --- | --- | PROPERTY BOUNDARY |
| --- | --- | PERMISSIBLE BUILDING AREA |
| --- | --- | PHASE LINE |
| --- | --- | FIRE LANE |
| --- | --- | ACCESSIBLE ROUTE |
| --- | --- | CONCRETE SIDEWALK |
| --- | --- | DECOMPOSED GRANITE WALKWAY |
| --- | --- | SIDEWALK RAMP |
| --- | --- | HANDICAPPED PARKING SPACE & SIDEWALK RAMP |
| --- | --- | CROSSWALK |
| --- | --- | STORM SEWER LINE |
| --- | --- | WASTEWATER LINE |
| --- | --- | WATER LINE |
| --- | --- | WATER VALVE |
| --- | --- | FIRE HYDRANT |
| --- | --- | WASTEWATER MANHOLE |
| --- | --- | STORMSEWER MANHOLE |
| --- | --- | 1/2" REBAR FOUND (OR AS NOTED) |
| --- | --- | 1/2" REBAR WITH CAP FOUND |
| --- | --- | 1/2" REBAR WITH CHAPARRAL CAP SET |
| --- | --- | WATER METER |
| --- | --- | UTILITY POLE |
| --- | --- | OVERHEAD UTILITIES |
| --- | --- | ELEC. UTILITY |
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| --- | --- | TELEPHONE UTILITY |
| --- | --- | UNDERGROUND FIBER OPTIC MARKER |
| --- | --- | TELEPHONE MANHOLE |
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| --- | --- | CHAIN LINK FENCE |

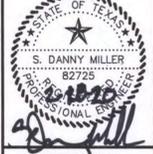
NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 3' UNLESS OTHERWISE NOTED.

**UPLANDS DRIVE
SITE CONCEPTUAL PLANS
SITE PLAN PHASE 1 - RESTAURANT & RETAIL
& ROADWAY IMPROVEMENTS**

| NO. | DATE | BY | REVISIONS DESCRIPTION |
|-----|------|----|-----------------------|
| | | | |

| | |
|---------------|------------------------|
| DATE: | 02/16/2020 |
| DESIGNED BY: | MFP |
| DRAWN BY: | CSB / ALK |
| CHECKED BY: | SDM |
| DRAWING NAME: | Uplands-Phase1-SP1.DWG |



LJA Engineering, Inc.
 Phone 512.439.4700
 Fax 512.439.4716
 7500 Realto Boulevard
 Building II, Suite 100
 Austin, Texas 78735
 FRN-F-1386

JOB NUMBER:
A284-0403

SP01

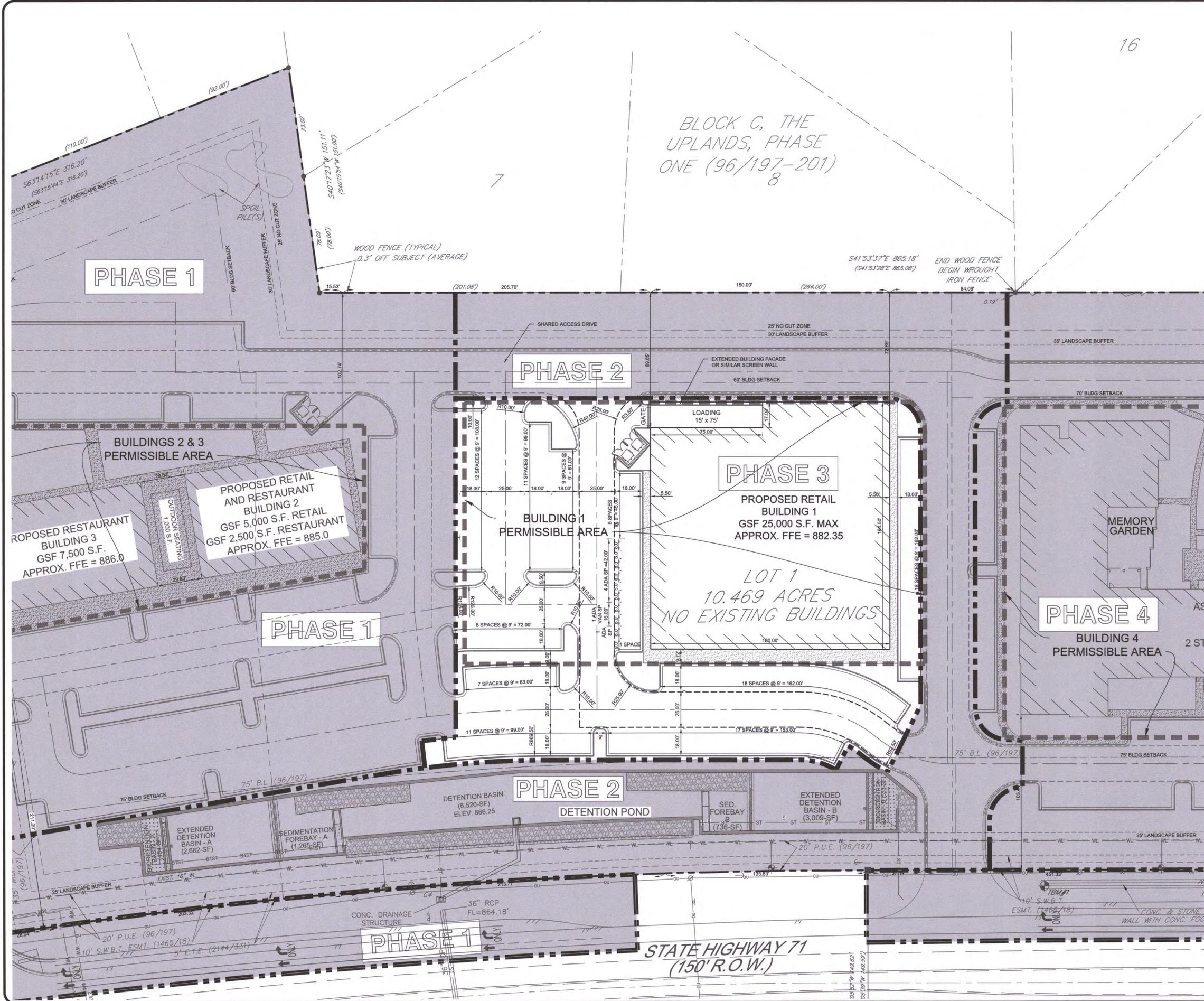
SHEET NO.
03

OF 09 SHEETS

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

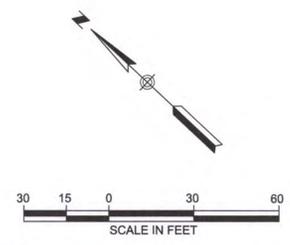


D:\A284\A283 - Uplands Drive\Submittal Drawings\A284-4403-P-SP1.dwg
 User: ctkennan
 Plot Date/Time: Feb. 18, 2020 - 1:46:21



BLOCK C, THE UPLANDS, PHASE ONE (96/197-201)
8

16



LEGEND

| PROPOSED | EXISTING | DESCRIPTION |
|----------|----------|---|
| --- | --- | PROPERTY BOUNDARY |
| --- | --- | PERMISSIBLE BUILDING AREA |
| --- | --- | PHASE LINE |
| --- | --- | FIRE LANE |
| --- | --- | ACCESSIBLE ROUTE |
| --- | --- | CONCRETE SIDEWALK |
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| --- | --- | WATER METER |
| --- | --- | UTILITY POLE |
| --- | --- | OVERHEAD UTILITIES |
| --- | --- | ELEC. UTILITY |
| --- | --- | ELEC. MANHOLE |
| --- | --- | LIGHT POLE |
| --- | --- | TELEPHONE UTILITY |
| --- | --- | UNDERGROUND FIBER OPTIC MARKER |
| --- | --- | TELEPHONE MANHOLE |
| --- | --- | UNDERGROUND GAS MARKER |
| --- | --- | CHAIN LINK FENCE |

NOTES:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL RADII ARE 3' UNLESS OTHERWISE NOTED.

Site Data Table For - Uplands Drive (PHASE 3)

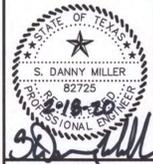
| Category | Proposed Use | Area (SF) | Percentage |
|-------------------|-------------------|------------------|-------------------|
| Zoning | NS | | |
| Proposed Use | Retail | 25,000 SF | |
| Gross Floor Area | | 25,000 SF | 33.40 % |
| Total Phase Area | | 74,856 SF | 1.72 Ac. |
| Building Coverage | Proposed | 25,000 SF | 33.40 % |
| Impervious Cover | | 69,903 SF | 93.38 % |
| FAR: | | 0.33 :1 | |
| Foundation Type: | | Concrete Slab | |
| | Exist. Imp. Cover | Prop. Imp. Cover | |
| Buildings | 0 SF | 0.00 % | 25,000 SF 33.40 % |
| Pvmt. / Parking | 0 SF | 0.00 % | 41,090 SF 54.89 % |
| Walks | 0 SF | 0.00 % | 3,813 SF 5.09 % |
| Total Imp. Cover | 0 SF | 100.00 % | 69,903 SF 93.38 % |

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



UPLANDS DRIVE
SITE CONCEPTUAL PLANS
SITE PLAN PHASE 3 - RESTAURANT & RETAIL

| NO. | DESCRIPTION | DATE | BY |
|-----|-------------|------|----|
| | | | |

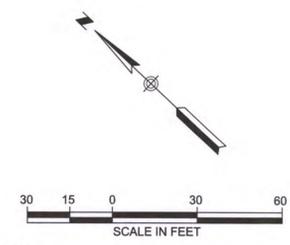
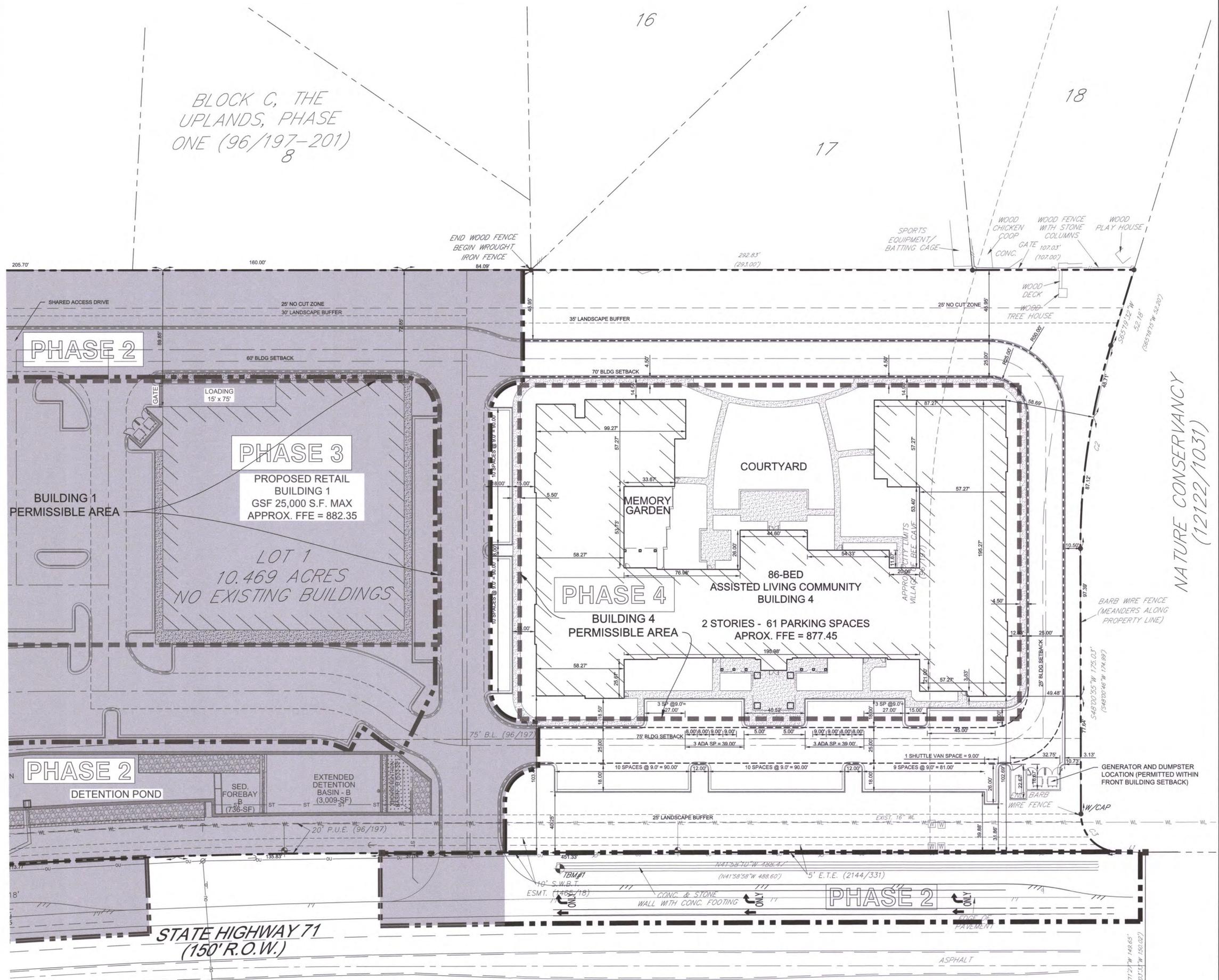


LJA Engineering, Inc.
7500 Riata Boulevard
Building II, Suite 100
Austin, Texas 78735
Phone 512.439.4770
Fax 512.439.4776
FRNF-1396

JOB NUMBER:
A284-0403
SP03
SHEET NO.
05
OF 09 SHEETS

D:\039A\0403 - Uplands Drive\Submittal Drawings\A284-0403-P-SP03.dwg
 User: csherman
 Plot Date: 02/19/2020
 Plot Time: 10:20:13 AM

BLOCK C, THE UPLANDS, PHASE ONE (96/197-201)
8



LEGEND

| PROPOSED | EXISTING | DESCRIPTION |
|----------|----------|---|
| --- | --- | PROPERTY BOUNDARY |
| --- | --- | PERMISSIBLE BUILDING AREA |
| --- | --- | PHASE LINE |
| --- | --- | FIRE LANE |
| --- | --- | ACCESSIBLE ROUTE |
| --- | --- | CONCRETE SIDEWALK |
| --- | --- | DECOMPOSED GRANITE WALKWAY |
| --- | --- | SIDEWALK RAMP |
| --- | --- | HANDICAPPED PARKING SPACE & SIDEWALK RAMP |
| --- | --- | CROSSWALK |
| --- | --- | STORM SEWER LINE |
| --- | --- | WASTEWATER LINE |
| --- | --- | WATER LINE |
| --- | --- | WATER VALVE |
| --- | --- | FIRE HYDRANT |
| --- | --- | WASTEWATER MANHOLE |
| --- | --- | STORMSEWER MANHOLE |
| --- | --- | 12" REBAR FOUND (OR AS NOTED) |
| --- | --- | 12" REBAR WITH CAP FOUND |
| --- | --- | 12" REBAR WITH CHAPARRAL CAP SET |
| --- | --- | WATER METER |
| --- | --- | UTILITY POLE |
| --- | --- | OVERHEAD UTILITIES |
| --- | --- | ELEC. UTILITY |
| --- | --- | ELEC. MANHOLE |
| --- | --- | LIGHT POLE |
| --- | --- | TELEPHONE UTILITY |
| --- | --- | UNDERGROUND FIBER OPTIC MARKER |
| --- | --- | TELEPHONE MANHOLE |
| --- | --- | UNDERGROUND GAS MARKER |
| --- | --- | CHAIN LINK FENCE |

NOTES:
 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL RADII ARE 3' UNLESS OTHERWISE NOTED.

Site Data Table For - Uplands Drive (PHASE 4)

| Zoning: | NS | |
|-------------------|-------------------|-------------------|
| Proposed Use | Assisted Living | 39,740 SF |
| Gross Floor Area | 39,740 SF | 26.61 % |
| Total Phase Area | 149,317 SF | 3.43 Ac. |
| Building Coverage | Proposed | |
| Impervious Cover | 39,740 SF | 26.61 % |
| FAR: | 92,361 SF | 61.86 % |
| Foundation Type: | Concrete Slab | |
| | Exist. Imp. Cover | Prop. Imp. Cover |
| Buildings | 0 SF 0.00 % | 39,740 SF 26.61 % |
| Pvmt. / Parking | 0 SF 0.00 % | 43,057 SF 28.84 % |
| Walks | 0 SF 0.00 % | 9,564 SF 6.41 % |
| Total Imp. Cover | 0 SF 100.00 % | 92,361 SF 61.86 % |

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

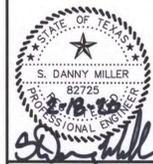
811
Know what's below. Call before you dig.

UPLANDS DRIVE
SITE CONCEPTUAL PLANS
SITE PLAN PHASE 4 - SENIOR LIVING

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

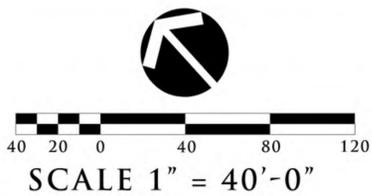
DATE: 02/16/2020
 DESIGNED BY: MPP
 DRAWN BY: CDS/JLK
 CHECKED BY: SCM
 DRAWING NAME: A284-0403-01.DWG



LJA Engineering, Inc.
 7500 Riata Boulevard
 Building II, Suite 100
 Austin, Texas 78735
 Phone 512.439.4700
 Fax 512.439.4700
 FRN-F-1386

JOB NUMBER:
A284-0403
SP04
SHEET NO.
06
OF 09 SHEETS

D:\9890\0403 - Uplands Drive\Submittal Drawings\A284-0403-P-SP04.dwg
 User: cstrahan
 Plot Date: Feb 18, 2020 1:43:30
 Plot Scale: 1" = 30'-0"



Uplands Drive

Bee Cave, Texas

Illustrative Site Plan

- | | | |
|---|--|---|
| <ul style="list-style-type: none"> EVERGREEN TREE EASTERN RED CEDAR ARIZONA CYPRESS SHADE TREE MEXICAN SYCAMORE LIVE OAK SHADE TREE BUR OAK RED OAK CEDAR ELM | <ul style="list-style-type: none"> ORNAMENTAL TREE YAUPON HOLLY MOUNTAIN LAUREL ORNAMENTAL TREE RED BUD RETAMA SCREENING SHRUBS COTONEASTER ELEGNUS KNOCK OUT ROSE MUHLY | <ul style="list-style-type: none"> EXISTING TREE LIVE OAK WHITE OAK CEDAR ELM RED BUD CYPRESS HACKBERRY |
|---|--|---|



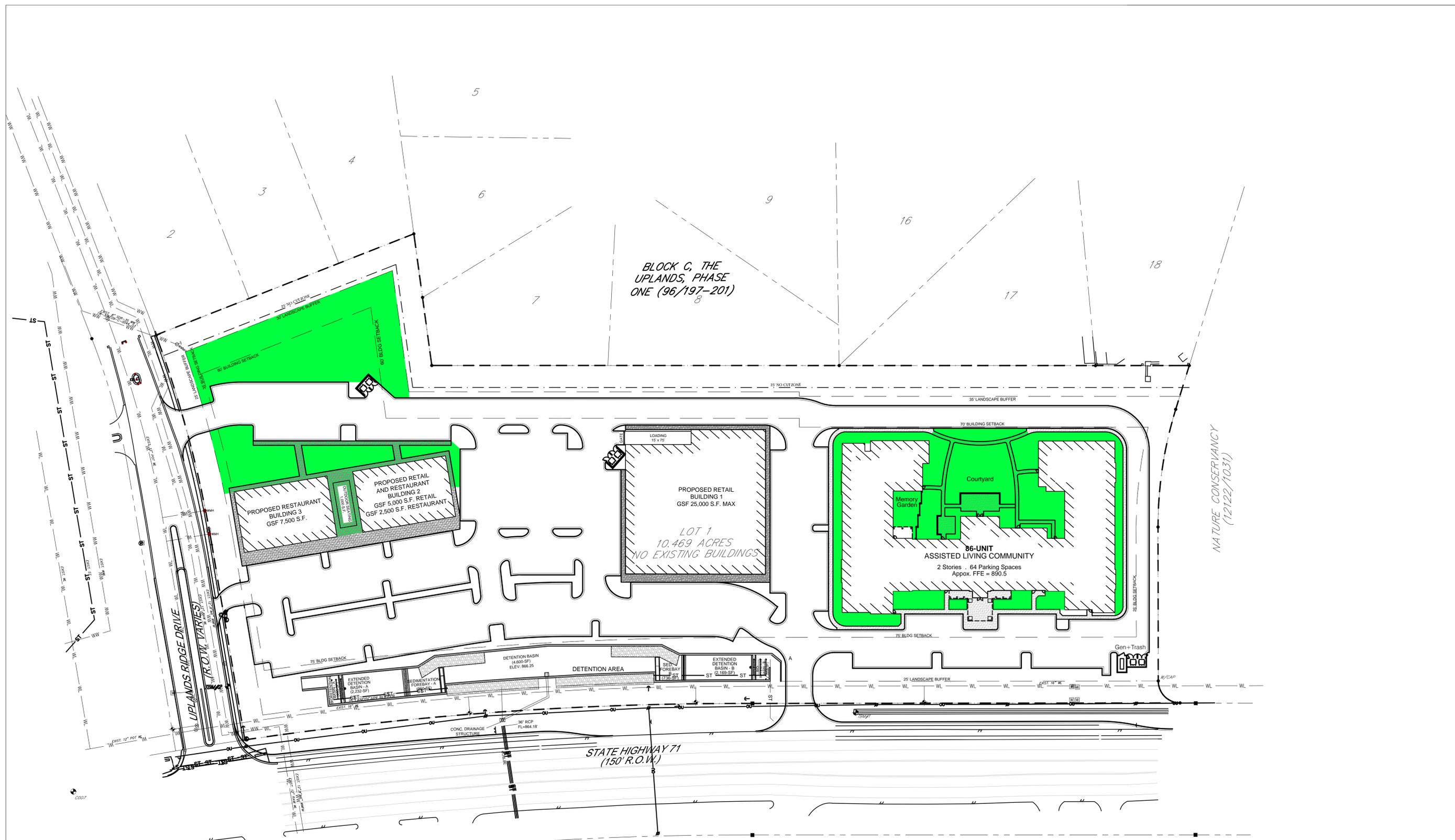
LEE
AND ASSOCIATES

6101 WEST COURTYARD DR.
BUILDING 3, SUITE 100
AUSTIN, TEXAS 78738
(512) 345-8477
www.leeandassociates.net

| Revision Block | | Comments |
|----------------|----|----------|
| No. | By | Date |
| | | |
| | | |
| | | |

| | |
|-----------|-----------------|
| DATE | 1-13-2020 |
| PROJ. NO. | 1484 |
| FILE NAME | 1899 Open Space |
| XREF | |
| XREF | |

UPLANDS DRIVE
BEE CAVE, TEXAS
OPEN SPACE EXHIBIT

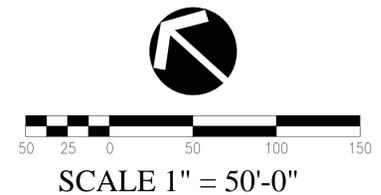


OPEN SPACE CALCULATIONS

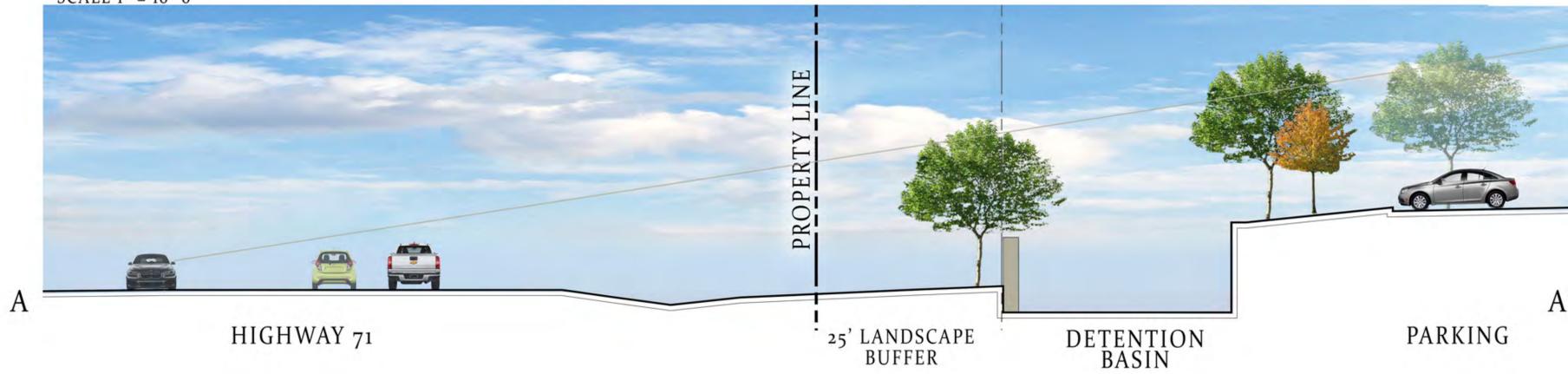
TOTAL AREA - 10.47 ACRES
 OPEN SPACE REQUIRED - 2.09 ACRES (20%)
 OPEN SPACE PROVIDED - 1.42 ACRES (14%)

 **OPEN SPACE**

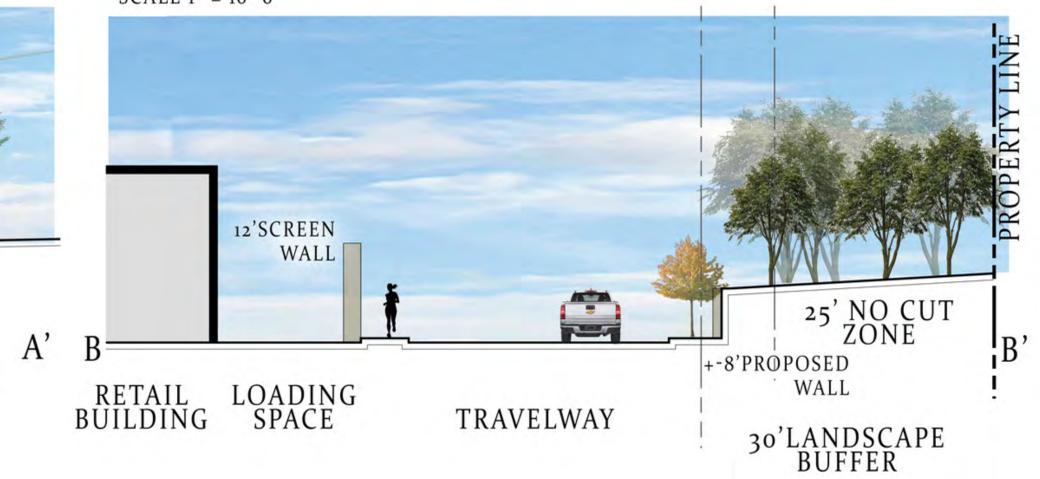
Usable Open Space. An open area or recreational facility which is designed and intended to be used for outdoor living or recreation purposes. An area of usable open space shall have a slope not exceeding ten percent (10%), shall have no dimension of less than ten feet (10'), and may include landscaping, walks, recreational facilities, water features and decorative objects such as artwork or fountains.



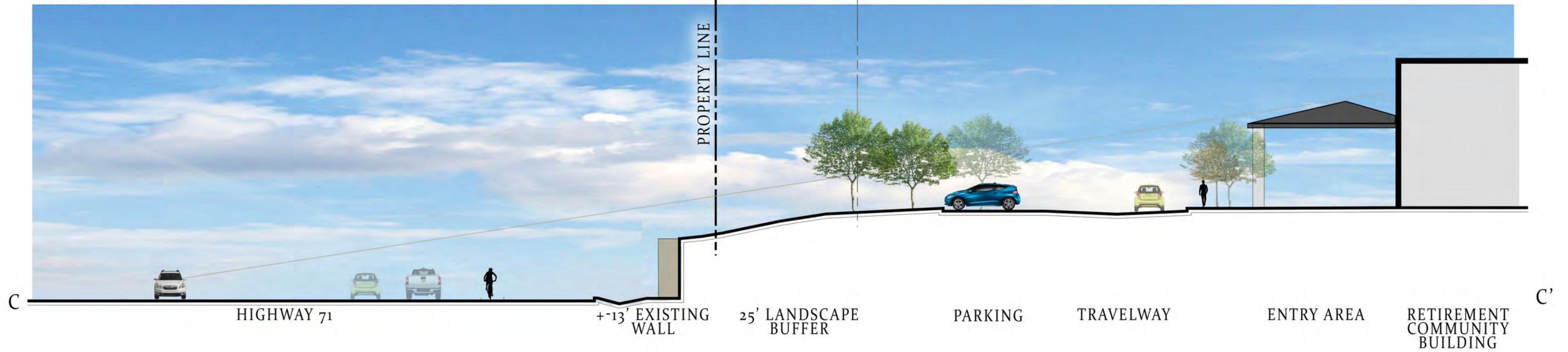
SITE SECTION A
SCALE 1" = 10'-0"



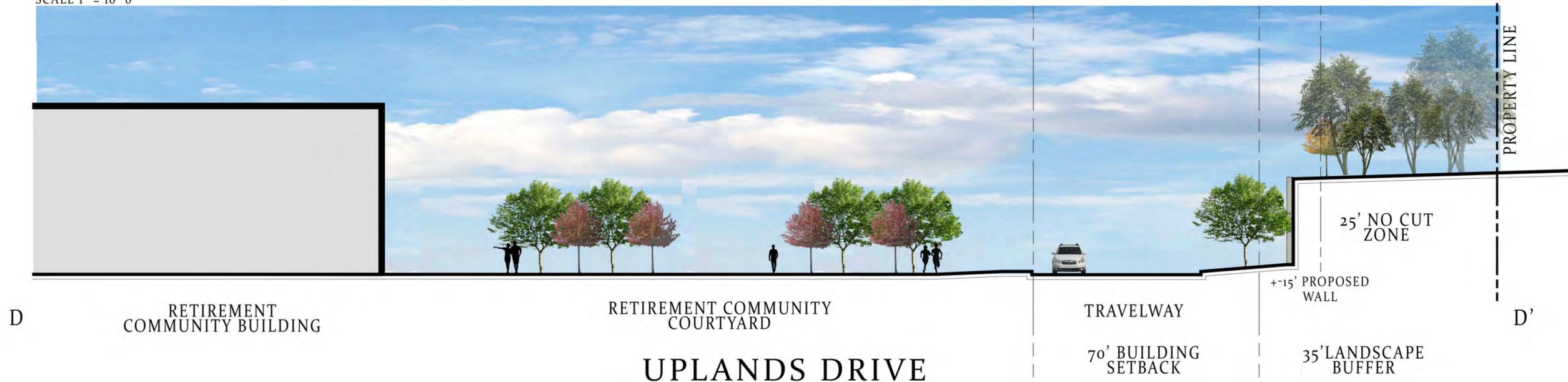
SITE SECTION B
SCALE 1" = 10'-0"



SITE SECTION C
SCALE 1" = 10'-0"



SITE SECTION D
SCALE 1" = 10'-0"



UPLANDS DRIVE
BEE CAVE, TEXAS
ILLUSTRATIVE SITE SECTIONS

Exhibit "C"

DEVELOPMENT STANDARDS

The following development standards shall be applicable within this Planned Development District (the "District"). To the extent that any of the following standards conflict with City Ordinances in effect as the effective date of this Ordinance, the following shall control. Except as modified herein, all development activity undertaken on the Property (the "Project") shall comply with all other City Ordinances and requirements. Capitalized terms contained herein shall be defined as indicated in these Planned Development Standards, as reflected on the Concept Plan, or as defined in the City of Bee Cave Code of Ordinances, depending upon context. The Neighborhood Services zoning district is the base zoning district upon which this Planned Development District is based.

1. General Project Design Requirements and Open Space

- a. The Project shall be designed and constructed to include a minimum of at least three (3) of the permitted uses listed in Section 11, as well as, open spaces, pedestrian paths and sidewalks, and stormwater quality and detention features, as depicted on the Concept Plan. Project will be required to meet Section 32.03.015(b)(2) of the Code of Ordinances at Site / NPS Plan submittal.
- b. If twenty percent (20%) Open Space as required by Section 32.03.015(b)(2) cannot be provided, a fee in lieu in the amount of \$1,000 per acre, prorated to the amount of deficient acreage may be accepted.
 - i. The northwest corner of the Project shall be maintained as Open Space as depicted in the Concept Plan. This area may be used or developed for passive recreation only, activities including amplified music or loudspeakers are prohibited.

2. Building Height

- a. The Assisted Living Residential building may have a maximum height of thirty-eight feet (38') and shall have a pitched roof.
- b. The Retail buildings may have a maximum height of forty-five feet (45), with a roof design approved by the City Council in its discretion in conjunction with approval of each Site Plan.
- c. Building heights shall be measured in accordance with Section 32.05.014 of the Code of Ordinances.

3. Building Area

- a. The Assisted Living Residential building may have a maximum Building Footprint area of 40,000 square feet and a heated and air-conditioned Gross Floor Area up to a maximum of 80,000 square feet;
- b. The cumulative maximum Building Footprint area of all buildings within the Project, except the Assisted Living Residential building, shall not exceed 40,000 square feet, and

the total heated and air-conditioned Gross Floor Area of these buildings shall not exceed a maximum of 55,000 square feet.

- c. In addition to the Assisted Living Residential building, one additional building within the Project may have a building footprint exceeding the 20,000 square foot maximum permitted in the Neighborhood Services District; this building's footprint shall not exceed 25,000 square feet and the building may not exceed one story.

4. Setbacks.

- a. A 75' building setback is required from SH-71.
 - i. The first 25' of the 75' building setback, as measured from SH-71, shall be a landscaped buffer area. This area may contain landscaping, driveway crossing perpendicular to SH 71, pedestrian trails, and underground utilities only.
 - ii. Vehicular circulation and parking areas may be located within the 75 ft. building setback but shall not be located closer than 35 feet to SH 71.
- b. The Assisted Living Residential building shall maintain a minimum building setback of 70 ft. from the northern property boundary.
 - i. A minimum of forty percent (40%) of the northern façade of the Assisted Living Building must be setback a minimum of 175 feet from the property boundary of the adjacent single-family neighborhood.
- c. The Assisted Living Residential building shall maintain a minimum side yard setback from the eastern property boundary in accordance with Section 32.05.006(h) of the City Code of Ordinances.
- d. Retail buildings within the Project shall maintain a minimum setback of 60 ft. from the northern property boundary.

5. Exterior Building Materials

In addition to the materials permitted in Section 32.05.005 of the City Code of Ordinances, building facades are permitted to be faced with synthetic stone or brick of like quality and appearance as natural stone or brick, and/or commercial grade stucco. Metal accent panels may constitute no more than twenty percent (20%) of any single façade. Painted wood or synthetic material with like quality and appearance as painted wood may be permitted on buildings in the City Council's discretion in conjunction with approval of each Site Plan.

6. Retaining Walls and Screening Walls

- a. Retaining Walls shall not be required to comply with Section 32.05.003(d)(1) or (d)(3) of the City Code of Ordinances, so long as retaining walls are designed by a licensed structural engineer.
- b. Retaining Walls are not required for excavations that are made in rock, so long as the stability of the rock has been adequately evaluated by a licensed structural or geotechnical engineer.
- c. Screening Walls. Walls screening service and dumpster areas may be faced with painted concrete.

7. Concept Plan and Site Plan Depictions of Buildings; Exterior Building Design Standards

- a. Front, side, and rear architectural elevations depicting the massing, variation, articulation, offsets/insets, aesthetic detailing and other design elements as required by Section 32.05.005 of the City Code of Ordinances shall be submitted for approval in conjunction with approval of the Site Plan for the phase of development in which such building or other improvement is to be constructed.
- b. In conjunction with approval of each Site Plan, the City Council has authority to approve a building design which deviates from the requirements of this Ordinance, in accordance with Section 32.05.005(b)(2) of the City Code of Ordinances.
- c. Buildings depicted on the Concept Plan are understood to have a range of square footage or maximum square footage in conformance with the standards of Section 3, above. With respect to such buildings, the specific square footage for the building shall be identified on the Site Plan applicable to the building.
- d. A lighting plan, meeting the standards of Section 32.05.012(h) of the City Code of Ordinances shall be provided with the Site Plan application for each phase of development. Any proposed Project-wide lighting shall be included in the Site Plan application for Phase 2.

8. Parking Areas

- a. Vehicle stopping devices such as wheel stops are not required in parking or loading areas that do not abut a walkway, building or landscaped area.
 - i. In parking areas abutting walkways, building, or landscaped areas, vehicle stopping devices such as wheel stops may not be required if the building or landscape area is located a minimum of 6' from the curb of the parking area or if the vehicle overhang area will not interfere with an unobstructed pedestrian pathway a minimum of 4 feet in width.
- b. Standard parking spaces shall be sized at a minimum of nine feet (9') by eighteen feet (18') regardless of parking lot configuration however, a maximum of ten percent (10%) of the required parking spaces for the Project may be compact parking spaces measuring a minimum of 7.5 ft. wide by 15 ft. deep.
- c. Each Building/Use and Project Phase shall include off street parking spaces in the amount required by Section 30.05.001 of the City's Code of Ordinances prior to issuance of a Certificate of Occupancy for any building with the corresponding Phase with the following exceptions:
 - i. In the event a previously constructed Project Phase has parking in excess of what is required to serve that Phase, the excess may be counted towards the required parking for a subsequent Project Phase, provided that all required parking for any building/use are provided and located in accordance with the standards of Section 32.05.001(h) of the City's Code of Ordinances.
 - ii. In the event the Project is subdivided, required parking may be located on separate lot from the building/use served provided that all required parking for any building/use are provided and located in accordance with the standards of Section 32.05.001(h) of the City's Code of Ordinances.

- d. A minimum of two (2) designated and reserved parking spaces for fleet vehicles must be provided for the vehicles associated with the Assisted Living Residential use. These parking spaces are in addition to the required parking for the Assisted Living Residential use.
9. Location and Design of Water Quality and Detention Ponds
- a. Project water quality and detention ponds may be located as depicted on the Concept Plan, provided they shall not encroach the 25 ft. landscape buffer adjacent to SH 71.
 - b. Temporary water quality and detention ponds constructed in Phase 1 as depicted on the Concept Plan may be of earthen construction. However, any portion of these ponds that encroaches the 75 ft. SH-71 setback shall be designed with a mortared rock finish, either a freestanding wall or concrete with rock facing on all visible pond walls, including interior walls. Temporary water quality or detention ponds shall be screened in accordance with Section 32.05.002(f)(13) of the City's Code of Ordinances.
 - c. Any permanent water quality or detention ponds in the Project that are visible from public streets or the parking areas within the Project must be designed with a mortared rock finish, either a freestanding wall or concrete with rock facing on all visible pond walls, including interior walls. Permanent water quality or detention ponds constructed in Phase 2 must be screened with landscaping as depicted in the Concept Plan.
 - d. The height of pond walls within the 75' SH 71 setback shall be a maximum of 8 ft. above the centerline of SH 71; height up to 10 ft. maximum may be approved on a limited basis by City Council at Site Plan and may result in additional screening requirements.
 - e. Any fencing around water quality or detention ponds required for safety must be decorative wrought iron or other material as approved by City Council at Site Plan. Fencing may only be located on the north side of the ponds adjacent to parking areas as depicted on the Concept Plan.
 - f. All water quality ponds within the Project shall incorporate natural rocks and boulders with spillways of natural rock.
10. Impervious Cover and Non-Point Source Pollution Control Standards for Water Quality Controls
- a. Impervious cover for all development in the District is allowed up to a maximum of 60% of the District area. Trails, a minimum of 10 ft. in width, constructed within the site that are part of or connect to the City's public trail network may not count toward this impervious cover limit, but must be accounted for in water quality calculations. However, all sidewalks and walkways included in the Project to provide access to buildings/uses shall be included in the maximum allowable impervious cover for the District.
 - b. Water Quality and Treatment. The Project shall meet portions of the requirements of Chapter 20.04, City's Code of Ordinances except that
 - i. Section 20.04.043(1) shall be modified to reduce the pollutant removal requirements to a minimum of 90% removal;
 - ii. The design and maintenance criteria of all temporary and permanent Best Management Practices (BMPs) shall be in accordance with the City of Austin Environmental Criteria Manual with the exception of extended detention and

infiltration trenches, which shall be designed and maintained in accordance with the 2007 LCRA Highland Lakes Water Quality Ordinance (HLWO) Technical Guidance Manual, 2007, Section 1, Chapters 4 and 5;

- iii. Treatment in series is expressly permitted. The City recognizes the calculations and tables in the 2007 LCRA HLWO Technical Guidance Manual pertaining to BMPs in series are structured by default to achieve 70% total phosphorus (TP) removal; therefore, in order to achieve 90% Total Phosphorous (TP) removal, adjustments to the default calculation methodologies are necessary. Approval of the adjustments by the City Engineer is required at the time of/prior to Non-Point Source Pollution Plan submittal, and;
 - iv. Pollutant removal efficiencies shall be consistent with the City of Bee Cave Pollutant Load Calculations, see Attachment 1.
- c. All temporary water quality controls and treatment systems necessary for Phase 1 of the project shall be considered for approval prior to or in conjunction with the Site Plan application for Phase 1 of the Project and shall be constructed prior to issuance of the first Certificate of Occupancy issued for Phase 1. All permanent water quality controls and treatment systems necessary to the Project at full build out shall be considered for approval in conjunction with the Site Plan application for Phase 2 the Project and shall be constructed prior to issuance of the first Certificate of Occupancy issued for Phase 3 or 4. In an effort to improve biological uptake of TP, biofiltration vegetation shall be used in all controls, including the extended detention basin. The sizing of the secondary and tertiary ponds shall be based upon field sampling infiltration testing results and supporting calculations. All temporary or permanent water quality and detention ponds that are concrete structures shall be designed and constructed to blend in with the natural environment. They shall be faced with stone and exposed concrete shall be minimized as per Section 9.b. above.

11. Permitted Uses in the District in Addition to NS - Neighborhood Service District Permitted Uses

- a. The following uses are permitted by right as Additional Uses (the singular may include the plural):
 - Alcoholic Beverage Retail Sales (Package Store)
 - Assisted Living Residential, including Memory Care as defined as a distinct form of long-term care designed to meet the specific needs of a person with Alzheimer's disease, dementia or other types of memory problems which is provided within an Assisted Living Residential facility See subsection (d) below.
 - Bank, Credit Union, or Savings and Loan
 - Beauty or Barbershop
 - Consignment/Used Merchandise Shop – no outside storage of goods to be sold or outside drop-off area for goods to be sold will be permitted
 - Contractor's temporary on-site construction office See subsection (f) below for additional standards.
 - Convenience Store – without gas sales

- Medical/Dental/Optician Office
 - Farmer’s Market – permitted as a Temporary Special Event in accordance with City Code Article 6.03 only.
 - Food or Grocery store – permitted in Phase 3 / Building 1 only
 - Health Club, outdoor uses are prohibited
 - Pharmacy – without drive-through.
 - Pet Shop/Supplies
 - Restaurant, no in-vehicle service
 - School, Driving/Defensive Driving
 - Spa, defined as business which provides a variety of services for the purpose of improving health, beauty and relaxation through personal care treatments such as massage; facials; waxing, body wraps; salt scrubs; manicures; pedicures; aromatherapy and similar, but specifically excluding services requiring medical licensure.
 - Walk-up ATM – permitted as integrated into a building façade only, no free-standing kiosk-style ATMs will be permitted
- b. The following uses are expressly prohibited within the Project:
- Bed and Breakfast Inn
 - Emergency Care Clinic
 - Fitness Boot Camp (Outdoor)
- c. The use for Phase 4 of the Project shall be Assisted Living as defined above and depicted in the Concept Plan, any deviation from this use shall require an amendment of this PDD ordinance.
- d. Uses for Phase 1 and 3 of the Project shall be consistent with Section 11(a) above, subject to updates of the approved Traffic Impact Analysis for the Project required due to increased trip generation.
- e. Contractor’s temporary on-site construction offices shall be permitted only during construction, this being defined as the time period between issuance of a site or building permit and issuance of the Certificate of Completion/Occupancy for the same. Contractor’s temporary on-site construction trailers are permitted only within the same Phase of the Project as the building or site that is under construction.
- f. Any display of merchandise or seasonal items shall comply with the requirement of Sec. 32.03.009(e)(2).
- g. Outdoor speakers and outdoor amplified music are prohibited within the Project.
- h. The hours of operation for all uses within the Project, except Assisted Living Residential, which is understood to be 24-hours, shall be limited to 6:00 am to 10:00 pm daily.
- i. Site services, such as trash pick-up and landscape maintenance, and deliveries to buildings/uses within the Project shall be limited to 7:00 am – 7:00 pm daily.
- j. Any drive-through facilities associated with a Bank, Credit Union, Savings and Loan use must meet the requirements of Section 32.05.001(c)(11).

12. Landscaping

- a. Landscaping shall meet current City of Bee Cave requirements, except as set forth below.

- b. A tree survey completed within the preceding two years must be provided with each Site Plan/NPS application for the Project. The tree survey provided with this PDD Concept Plan (Exhibit D) shall be deemed adequate for subsequent Site Plan / NPS application for any phase of the Project for which a Site Plan / NPS application is submitted to the City within two years of the approval date of this Ordinance.
- c. The removal, without mitigation, of forty percent (40%) of all existing trees equal or greater than four inches (4") caliper, is permitted. The removal of a maximum of an additional thirty-five percent (35%) of the caliper inches of all existing trees equal or greater than four inches (4") caliper, may be permitted provided a fee for this additional tree removal shall be paid on a per-inch basis per the City's current fee schedule. At the completion of development at least sixty percent (60%) of the caliper inches of all existing trees equal or greater than four inches (4") caliper have been retained or replaced. Hackberry, juniper and cedar trees measuring twelve-inch (12") caliper or less shall be excluded from these calculations.
 - i. Any existing tree equal or greater to twenty-four inches (24") caliper shall be credited at a rate of 250% the caliper measurement if retained or shall require specific approval from City Council at Site Plan for removal, excluding hackberry, juniper and cedar trees.
- d. The following standards shall be met for trees planted within tree grates and landscape areas located along and within sidewalks, drives and roadways within the Project:
 - i. Large trees: 1,000 cubic feet of available soil
 - ii. Small trees: 275 cubic feet of available soil
 - iii. The maximum soil compaction is 75%. If higher compaction is required to support sidewalk, driveways, etc., then an alternative support system, such as structural soil or silva cell, will be used.
 - iv. Trees shall be planted a minimum of four feet (4') from pavement.
- e. Provided the soil volume and compaction standards listed above are met, the trunk of a tree may be located as close, but not closer than within four feet (4') of any pavement or curb.
- f. Except for the clearing necessary to provide utilities or access, no clearing of trees shall be permitted within 25 feet of SH 71. Any planting in this roadway buffer shall emulate the natural form of the rural landscape. Formal planting patterns with uniform intervals are not allowed. Plant materials shall be grouped informally, emulating native patterns. Planting shall provide the appearance of depth to the site, not just a single-dimensional screen.
 - i. A minimum of six (6) trees – three (3) two-inch caliper trees, two (2) three-inch caliper trees, and one (1) four-inch caliper trees shall be planted per 100 lineal feet of roadway buffer (not including drives or other access points). Credit shall be provided for any existing trees within the roadway buffer on a one-for-one basis, except for *Celtis Occidentalis* (Hackberry), *Juniperus Virginiana* and *Juniperus Ashei* (Common Cedar) with a caliper of less than twelve (12) inches, which shall receive no credit.
 - ii. Small trees and shrubs shall be planted where there is no existing understory plant material within the roadway buffer. Such materials shall be provided in a quantity

sufficient to produce a natural screen when combined with trees and existing vegetation in the roadway buffer.

- iii. There shall be no encroachments within this buffer with the exception of an access drive perpendicular to SH 71 as depicted in the Concept Plan, and existing and proposed utilities.
 - g. A landscape buffer is required along the northern property boundary. The width of this buffer shall range from 30 ft. to 35 ft. as depicted in the Concept Plan. There shall be no parking areas, vehicular circulation areas, or trash enclosures within this buffer area.
 - i. A 25 ft. "no cut zone" shall be included within the required rear yard landscape buffer adjacent to the property boundary as depicted in the Concept Plan. The "no cut zone" shall have an effective visual buffer as per the Standards of Section 32.05.002(f)(6).
 - h. The SH-71 and northern property boundary landscape buffers described in Sections (f) and (g) above shall be planted in accordance with this Ordinance as part of Phases 1, 2 and 4 of the Project. Landscaping meeting the standards of Section (f) above shall be installed within the SH-71 buffer adjacent to Phase 1 as part of Phase 1. This landscaping may be temporary and may be removed and replaced to allow for construction of the permanent detention ponds as part of Phase 2. Landscaping meet the standards of Section (f) above shall be installed within the SH-71 buffer adjacent to Phase 4 as part of Phase 2.
 - i. A landscaping plan consistent with the requirements of Section 32.05.002 of the City's Code of Ordinances, except as modified herein, shall be provided with all site plan applications for the Project. To the extent there is any conflict between an approved Landscape Plan for the Project and any other City landscape ordinance, the requirements of the approved Landscape Plan shall control.
13. Outdoor Seating.
- a. The placement of tables, chairs and benches on sidewalks and patios adjacent to buildings constructed within the Project ("Outdoor Seating Areas") shall be permitted. All Outdoor Seating Areas shall be subject to fire, safety, and access codes applicable at time of construction.
 - i. Parking shall be required for any Outdoor Seating Areas accessory to restaurant uses in accordance with Code Section 32.05.001; however, these outdoor dining areas shall be not be counted towards the maximum building area of retail buildings within the Project.
 - ii. Any outdoor dining areas within the Project shall be located on the south side of the associated building(s), or otherwise located to place the associated building between the outdoor dining area and the adjacent residential neighborhood. Alternative configurations may be approved by Council at Site Plan provided the outdoor dining area is adequately set back and screened from the neighborhood such that noise and lighting will not create a nuisance.

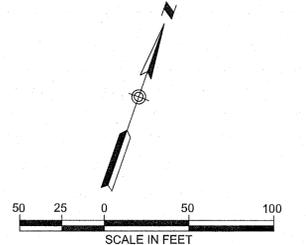
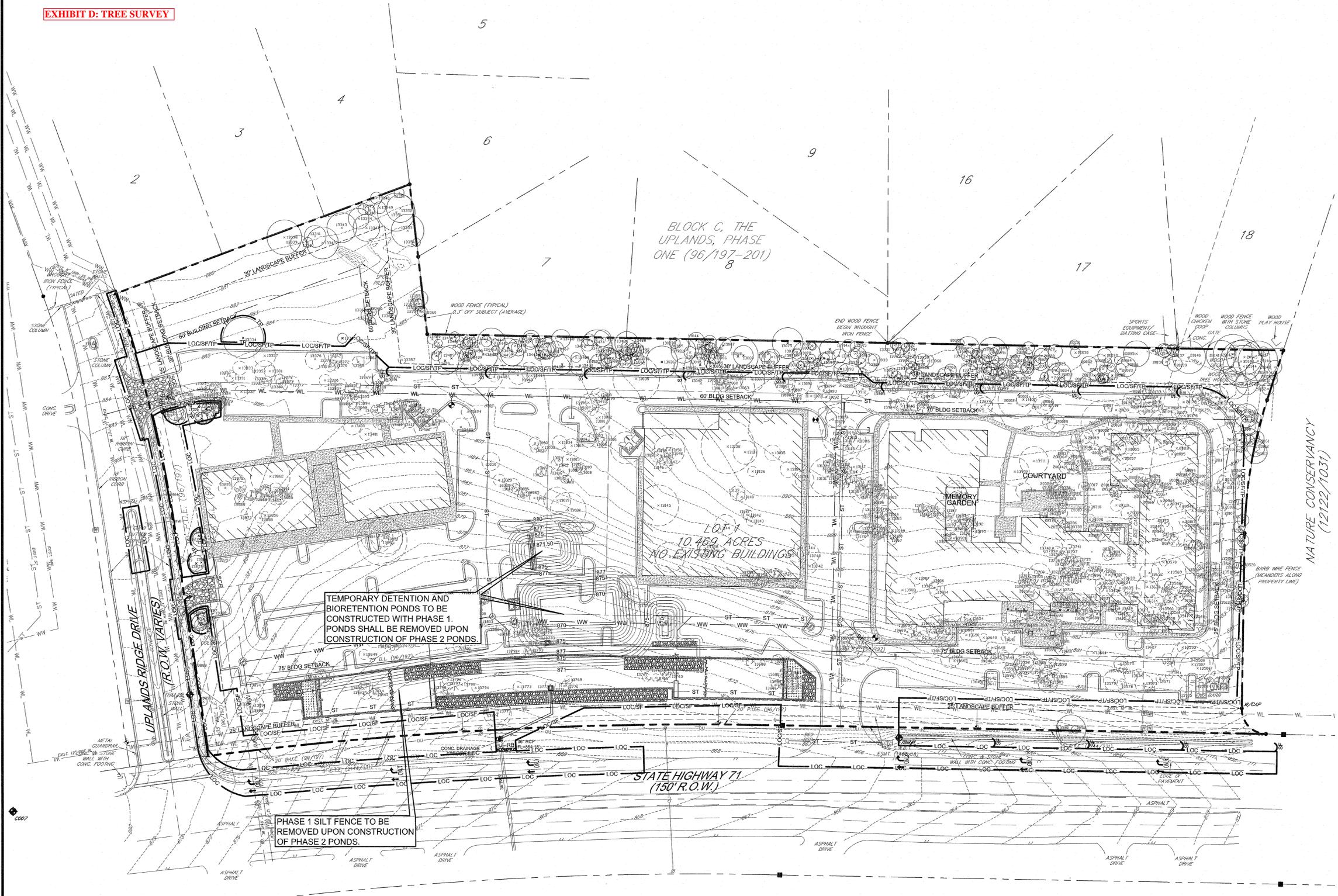
- b. Outdoor Seating Areas may be covered. Awnings and umbrellas are permitted to provide cover for Outdoor Seating Areas. Other covering for Outdoor Seating Areas may be approved by the City Council at Site Plan.
 - c. The placement of fencing or other barriers to designate the boundary of Outdoor Seating Areas shall be allowed, but such fencing or other barriers shall not block or otherwise reduce the width of any pedestrian pathway, or exceed 40 inches in height, except fencing or other barriers used for screening purposes along the northern property line.
14. Off Street Loading and Service Areas.
- a. Loading areas and service entrances may face public streets if substantially screened by screening walls and landscaping. Screening walls shall have color variation, shadow lines, and associated landscaping.
 - b. The service area (dumpster) for the Assisted Living Residential building shall be located in the southeast corner of the Project as depicted on the Concept Plan or relocated to a location a minimum of 300 feet from the northern property boundary of the Project.
 - c. The loading and service area (dumpsters) for Building 1 (Phase 3) shall be located as depicted in the Concept Plan or a minimum of 60 feet from the northern property boundary of the Project. This loading area must be screened from view of the adjacent shared access drive by extension of the building façade wall or a separate screening wall of similar design. The entrance to this loading area shall be gated and also screened from view.
 - d. The service area (dumpster) for Buildings 2 & 3 (Phase 1) shall be located as depicted in the Concept Plan or a minimum of 135 feet from the northern property boundary of the Project.
 - e. If the final design/building square footage for Buildings 2 & 3 (Phase 1) requires the addition of a loading area, this addition may be approved administratively as a “Minor Modification” in accordance with Section 17(c) below, with the corresponding Site Plan, provided the loading area is screened from view by screening walls and landscaping. Screening walls shall have color variation, shadow lines, and associated landscaping.
15. Site Access and Roadway Improvements
- a. The Project shall be limited to one (1) access point on SH 71. This access point shall align with the driveway located on the opposite side of SH 71, at the location generally depicted in the Concept Plan pursuant to approval of a TxDOT driveway permit. This driveway shall have a minimum width of 40 feet.
 - b. The Project shall have a maximum of two (2) driveways connecting to Uplands Ridge Drive.
 - i. The driveway located closest to SH 71 shall be limited to right-in/right-out access only and face a raised median to deter left turns.
 - ii. The existing median on Uplands Ridge Drive shall be extended 50 feet to the north to deter left turns from the southern driveway by the property owner as part of Phase 1 of the Project.
 - iii. The northern driveway on Uplands Ridge Drive shall have a minimum width of 30 feet.

- iv. The driveway located closest to the Uplands subdivision shall be aligned with the driveway to the shopping center on the opposite side of the roadway.
 - c. Development in the District shall include construction of turn lanes into the Project along Hwy 71 and Uplands Ridge Drive. The turn lanes on Uplands Ridge Drive and along Hwy 71 to Uplands Ridge Drive shall be completed prior to issuance of the first Certificate of Occupancy ("CO") for any building in Phase 1 of the District. The turn lanes on along Hwy 71 to the driveway at the mid-point of the District shall be completed as part of Phase 2 and prior to issuance of a CO for any building in Phase 3 or 4 of the District. Final design of the improvements on Hwy 71 shall be subject to TxDOT approval.
 - d. Changes in the location and configuration of the driveway connection to SH 71 and resulting changes in building and parking layout required herein, that are due to TxDOT requirements, shall be considered "Minor Modification" and may be approved with the corresponding Site Plan.
 - e. Driveways in the District may be constructed with curbs.
16. Pedestrian Circulation.
- a. Sidewalks are not required adjacent to public or private roads located along the perimeter of the Project, except along Uplands Ridge Drive as depicted on the Concept Plan.
 - b. A minimum 5 ft. sidewalk shall be installed adjacent to Uplands Ridge Drive. The sidewalk shall be located a minimum of 4 feet from the Uplands Ridge Drive curb/pavement, whichever yields a greater separation. This sidewalk shall be included in and constructed as part of the first site plan (Phase 1) for the Project.
 - c. Sidewalks and pedestrian walkways shall be located as generally depicted in the Concept Plan.
 - d. The Project shall include pedestrian connectivity between all the buildings within the Project.
 - e. All sidewalks, trails, and other walkways within the Project shall be ADA compliant.
 - f. Where pedestrian guard rails are required by Building Code, guardrails shall be wrought iron or other material as approved by City Council at the time of Site Plan.
 - g. Prior to issuance of the first Site Development Permit associated with the Project, the property owner shall record a 20 ft. easement for trails and pedestrian access within the 25' SH-71 landscape buffer and 30-35 ft. rear property line landscape buffer.
17. Other Requirements
- a. Site areas within Phase 2, 3 and 4 may be cleared and rough graded, only to the extent necessary to construct Phase 1 infrastructure, i.e. stormwater ponds, storm sewer improvements, access drives, water and wastewater utilities, and sidewalk along Uplands Ridge, including placement of excavated material resulting from Phase 1 work. All placed material shall be fully compacted, not stockpiled, and upon completion of Phase 1, shall be revegetated if construction of the respective Phase 2, 3 or 4 has not commenced.
 - b. The location or configuration of buildings may be adjusted within the bounds of the Permissible Building Area for the associated Phase shown on the Concept Plan as long as

the setback requirements of Section 4 and landscape buffer requirements of Section 12 are maintained.

- c. The adequacy of sight lines at buildings corners must be demonstrated at Site Plan.
- d. "Minor Modifications" of the Concept Plan and/or Site Plan for the Project may be approved administratively by the City Manager provided such modifications would not otherwise result in a violation of the City's Code of Ordinances as modified by these Planned Development Standards. "Minor Modifications" shall be as defined in Section 32.02.006, except as modified herein:
 - i. Adjustments of no more than twenty-five feet (25') to the location or configuration of roadways, sidewalks, utilities, parking areas, landscape features, (including plants and trees,) ponds and any other improvements depicted on the Concept Plan and/or Site Plan. Adjustments up to 100 feet may be acceptable and approved administratively, at the City's discretion, if the adjustments are for the purpose of protecting existing trees or other natural features that may not be identified at this time.
 - ii. Adjustments of no more than 10% of the number of parking spaces as shown on the Concept Plan or Site Plan, if a parking needs analysis prepared by a qualified traffic engineer, demonstrates that a greater or lesser requirement is appropriate.
- e. Construction Traffic Control Plans shall be submitted and approved in conjunction with each Site Plan for the Project.
 - i. Hours of construction with the Project are limited to 7:00 am – 7:00 pm Monday-Friday and 8:00 am – 7:00 pm Saturday – Sunday.
 - ii. Reasonable efforts shall be required to limit truck traffic impacts from construction to the extent feasible to avoid traffic stopping on Hwy 71 or Uplands Ridge Drive.
- f. For purposes of determining compliance with City ordinances, the entire District shall be treated as a single lot, regardless of the number of lots platted within the District and regardless of dedication of property within the District to any governmental entity.
- g. The Project shall meet the requirements of the City's Lighting Ordinance.

EXHIBIT D: TREE SURVEY



LEGEND

| PROPOSED | EXISTING | |
|----------|----------|--|
| LOC | LOC | LIMITS OF CONSTRUCTION |
| SF | SF | SILT FENCE |
| LOC/SF | LOC/SF | LIMITS OF CONST./SILT FENCE |
| TP | TP | TREE PROTECTION |
| IP | IP | INLET PROTECTION |
| RB | RB | ROCK BERM |
| SCE | SCE | STABILIZED CONSTRUCTION ENTRANCE |
| | | CONSTRUCTION STAGING / SPOILS / VEHICLE USE LOCATION |
| | (●) | TREE TO REMAIN |
| | (○) | TREE TO BE REMOVED |
| 800 | 800 | CONTOURS |
| ST | ST | STORM SEWER LINE |
| WW | WW | WASTEWATER LINE |
| WL | WL | WATER LINE |

- NOTES:**
- CONTRACTOR SHALL PROVIDE INLET PROTECTION, AS EACH PROPOSED INLET IS INSTALLED.
 - CONTRACTOR TO INSTALL SILT FENCE AND ROCK BERM UNLESS DIRECTED OTHERWISE.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT LIMBS AND ROOT SYSTEMS OF ALL TREES OUTSIDE LIMITS BY NOT PARKING UNDER TREES, NOT DRIVING EQUIPMENT OVER ROOT ZONES AND NOT STORING MATERIALS UNDER TREES. PROTECTION OF VEGETATION TO REMAIN SHALL INCLUDE NOT ONLY HARDWOODS, BUT CEDARS AND UNDERBRUSH.
 - ALL VEGETATION WITHIN LIMITS OF CONSTRUCTION AND NOT LOCATED WITHIN AREAS OF CUTFILL SHALL BE PROTECTED TO THE EXTENT FEASIBLE.
 - TREES TO REMAIN THAT ARE LOCATED INSIDE THE SILT FENCE AND/OR ORANGE MESH FENCE SHALL HAVE TREE PROTECTION FENCING.
 - TEMPORARY STORAGE AND STOCKPILE AREAS SHALL BE USED DURING TIME OF CONSTRUCTION BUT SHALL BE RESTORED AND REVEGETATED.
 - ALL STORM DRAIN LINES ARE TO BE AT A MINIMUM OF FIVE FEET FROM CENTERLINE OF PIPE TO FACE OF TREE. ANY STORM DRAIN LINES TO BE PLACED WITHIN A TREE'S DRIP LINE MUST BE SAWCUT PRIOR TO TRENCHING.
 - PRIOR TO EXCAVATION WITHIN TREE DRIP LINES, OR THE REMOVAL OF TREES ADJACENT TO OTHER TREES THAT ARE TO REMAIN, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE ROOT DAMAGE.
 - IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION WITH FENCING, AND WHERE HEAVY VEHICULAR TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH FOUR (4) INCHES OF ORGANIC MULCH TO BE PRODUCED ON SITE, TO MINIMIZE SOIL COMPACTION.
 - PERFORM ALL GRADING WITHIN CRITICAL ROOT ZONE AREAS WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE.
 - WATER ALL TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES DEEPLY AS NECESSARY DURING PERIODS OF HOT, DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
 - WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SITE E/S CONTROLS. SEDIMENT REMOVAL SHALL BE PROVIDED AS NOTED ON THE PLANS. REPAIR TO SILT FENCE AND ORANGE MESH FENCING/CHAIN LINK FENCING SHALL BE PROVIDED TO INSURE: 1) ORANGE MESH FENCING / SILT FENCE REMAINS IN PLACE AND STANDING AT ALL TIMES; 2) SILT FENCING TO BE REPLACED / REPAIRED DUE TO CONTRACTOR DAMAGE OR ANY DAMAGE DUE TO STORM WATER DURING RAIN EVENTS.
 - DEWATERING OF THE TEMPORARY POND WILL BE PROVIDED TO ENSURE THERE IS ADEQUATE STORAGE FOR THE FOLLOWING RAIN EVENT. CONTRACTOR SHALL PROVIDE ADEQUATE FILTRATION DURING PUMPING TO ENSURE SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
 - THE ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD/ OR MODIFY EROSION/ SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS.
 - CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(D), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
 - SILT FENCE TYPE AND INSTALLATION SHALL COMPLY WITH ECM 1.4.2.(G).

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

811
Know what's below.
Call before you dig.

UPLANDS DRIVE SITE CONCEPTUAL PLANS

EROSION CONTROL AND TREE PROTECTION PLAN

| NO. | REVISIONS | DESCRIPTION | DATE |
|-----|-----------|-------------|------|
| | | | |

DATE: 11/22/2019
 DESIGNED BY: MPP
 DRAWN BY: CSJ/YGC
 CHECKED BY: SDM
 DRAWING NAME: UPLANDS-FACTOR.DWG

LJA Engineering, Inc.
 7500 Rialto Boulevard
 Building 11, Suite 100
 Austin, Texas 78735
 Phone 512.439.4700
 Fax 512.439.4760
 FRWF-1386

JOB NUMBER: A284-0403
 EC01
 SHEET NO. 11 OF 16 SHEETS

D:\S\PROJ\0483 - Uplands Drive\Submittal Drawings\ASB-4001-P-EC01.dwg
 User: jlvacac
 Last Modified: Nov 22, 19 - 16:07
 Plot Date/Time: Nov 22, 19 - 16:07

Attachment 1

City of Bee Cave Pollutant Load Calculations

(Requires User Input)

STEP 1. ENTER SITE DATA

| | | |
|----------|----------------------------------|---------------------------------|
| | Project Name: | |
| | Drainage Area ID: | |
| | Drainage Area (ac.): | |
| Existing | Impervious Cover (%): | (Pre-Developed Condition) |
| | Paved Area (ac.): | (Used in O&G calculations only) |
| | Paved Area Impervious Cover (%): | (Pre-Developed Condition) |
| Proposed | Impervious Cover (%): | (Developed Condition) |
| | Paved Area (ac.): | (Used in O&G calculations only) |
| | Paved Area Impervious Cover (%): | (Developed Condition) |

STEP 2. DETERMINE POLLUTANT LOADING

| Pollutant | Pre-Developed Loading, L_{pre} (lb/yr) | Developed Loading, L_{dev} (lb/yr) |
|------------------------------|--|--------------------------------------|
| Total Suspended Solids (TSS) | 0.00 | 0.00 |
| Total Phosphorus (TP) | 0.00 | 0.00 |
| Oil and Grease (O&G) | 0.00 | 0.00 |

*Pollutant loading: Equation 1 from COA ECM 1.6.9.3.B

$$L = C * V * A_n * CF$$

Where:

L = Pollutant load (lb/yr)

C = Pollutant concentration (mg/L), see 'Lookup' tab

V = Annual runoff volume (in/yr), see 'Lookup' tab

A_n = Area of drainage area (acres), see COA ECM Section 1.6.9.3.B.2

CF = Conversion factor CF (pollutant in mg/L) = 0.2267 (lb-L/mg-Ac-in)

STEP 3. DETERMINE BMP POLLUTANT LOAD REMOVAL EFFICIENCIES

| BMP Order in Series | BMP Type | Removal Efficiency (%) | | |
|-------------------------|----------|------------------------|----|-----|
| | | TSS | TP | O&G |
| 1 | | | | |
| 2 | | | | |
| 3 | | | | |
| TOTAL EFFICIENCY | | | | |

*TSS removal efficiency and O&G (not explicitly stated, but related to TSS) are from TCEQ RG-348 Table 3-1, page 3-4

**TP removal is from LCRA Technical Manual Table 2-6, page 2-11

***Equation from COBC Section 20.04.050f: Runoff capture efficiency for BMP's in series

$$E_{TOT} = \left[1 - \left(1 - \frac{E_1}{100} \right) \left(1 - 0.95 \frac{E_2}{100} \right) \left(1 - 0.90 \frac{E_3}{100} \right) \right] * 100$$

Where

E_{TOT} = Total efficiency (%)

E_1 = Efficiency of first BMP in series (%)

E_2 = Efficiency of second BMP in series (%)

E_3 = Efficiency of third BMP in series (%)

STEP 4. CALCULATE TOTAL POLLUTANT LOAD REMOVAL

| Pollutant | Required Removal | | Total BMP Removal | | Meets Criteria? |
|------------------------------|------------------|---------|-------------------|---------|-----------------|
| | (%) | (lb/yr) | (%) | (lb/yr) | |
| Total Suspended Solids (TSS) | | | | | |
| Total Phosphorus (TP) | | | | | |
| Oil and Grease (O&G) | | | | | |

*Removal requirements per COBC Section 20.04.043

Amount removed per year equation: $R = L_{dev} * (E_{TOT}/100)$

Table 1. Pollutant Loading Concentrations

| Pollutant | Background Concentration, C _{back} (mg/L) | Pollutant Concentration, C (mg/L) | Source |
|------------------------------|--|-----------------------------------|---|
| Total Suspended Solids (TSS) | 55 | 166 | City of Bee Cave Sec. 20.04.007/City of Austin ECM 1.6.9.3.B (Table 1-10) |
| Total Phosphorus (TP) | 0.040 | 0.396 | City of Bee Cave Sec. 20.04.007/City of Austin ECM 1.6.9.3.B (Table 1-10) |
| Oil and Grease (O&G) | 0.00 | 5.00 | City of Bee Cave TCSS Manual Section 5, Page 7 |

Table 2. BMP Removal Efficiency

| BMP Type | TSS | TP | O&G |
|---------------------------|-----|----|-----|
| None | 0 | 0 | 0 |
| Bioretention | 89 | 72 | 89 |
| Sand Filter | 89 | 55 | 89 |
| Vegetative Filter Strip | 85 | 70 | 85 |
| Infiltration/Trench basin | 90 | 90 | 90 |
| Retention/Irrigation | 100 | 90 | 100 |
| Extended Detention | 75 | 45 | 75 |
| Wet Pond/Wetland Basin | 93 | 65 | 93 |

*TSS removal efficiency and O&G (not explicitly stated, but related to TSS) are from TCEQ RG-348 Table 3-1, page 3-4

**TP removal is from LCRA Technical Manual Table 2-6, page 2-11

Note: The COA ECM (1.6.9.3.D.2) gives equations for removal efficiency, rather than standard values, so the actual specs of the BMP would need to be known in order to calculate efficiencies.

Table 3. Annual Runoff Coefficient Values for Developed Conditions

| Impervious Cover, IC (%) | Runoff-Rainfall Ratio, R _v | Depression Storage, S _d (in) | Annual Number of Runoff Events, θ | Annual Runoff, V (in/yr) |
|--------------------------|---------------------------------------|---|-----------------------------------|--------------------------|
| 0 | 0.064 | 0.218 | 46 | 1.18 |
| 5 | 0.1 | 0.198 | 48.4 | 1.94 |
| 10 | 0.136 | 0.18 | 50.6 | 2.76 |
| 15 | 0.172 | 0.163 | 52.8 | 3.63 |
| 20 | 0.208 | 0.148 | 54.8 | 4.55 |
| 25 | 0.243 | 0.134 | 56.7 | 5.52 |
| 30 | 0.279 | 0.122 | 58.5 | 6.54 |
| 35 | 0.315 | 0.11 | 60.2 | 7.59 |
| 40 | 0.351 | 0.1 | 61.8 | 8.67 |
| 45 | 0.387 | 0.091 | 63.2 | 9.78 |
| 50 | 0.423 | 0.082 | 64.6 | 10.91 |
| 55 | 0.458 | 0.075 | 65.8 | 12.06 |
| 60 | 0.494 | 0.068 | 66.9 | 13.23 |
| 65 | 0.53 | 0.062 | 68 | 14.42 |
| 70 | 0.566 | 0.056 | 69 | 15.61 |
| 75 | 0.602 | 0.051 | 69.9 | 16.82 |
| 80 | 0.637 | 0.046 | 70.7 | 18.03 |
| 85 | 0.673 | 0.042 | 71.5 | 19.24 |
| 90 | 0.709 | 0.038 | 72.2 | 20.46 |
| 95 | 0.745 | 0.034 | 72.8 | 21.69 |
| 100 | 0.781 | 0.031 | 73.4 | 22.91 |

*Source: Table 1-9, COA ECM 1.6.9.3