

ORDINANCE NO. 05-03-08-A

AN ORDINANCE OF THE VILLAGE OF BEE CAVE, TEXAS AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP, ORDINANCE NO. 01-08-14A (ADOPTED ON AUGUST 14, 2001), AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE OF ZONING FROM CURRENT ZONING AS PLANNED DEVELOPMENT TOWN CENTER DISTRICT, NEIGHBORHOOD SERVICES, OFFICE, RETAIL AND PUBLIC TO PLANNED DEVELOPMENT DISTRICT FOR APPROXIMATELY 156.088 ACRES OF LAND MORE PARTICULARLY DESCRIBED IN EXHIBIT "A" ATTACHED HERETO; APPROVING A CONCEPT PLAN, ATTACHED AS EXHIBIT "B"; PROVIDING SPECIAL DEVELOPMENT STANDARDS AND CONDITIONS, ATTACHED AS EXHIBIT "C"; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the Village of Bee Cave and the Board of Aldermen of the Village of Bee Cave, in compliance with the laws of the State of Texas, with reference to the granting of zoning classifications and changes, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and the Board of Aldermen of the Village of Bee Cave is of the opinion and finds that said zoning change should be granted and that the Comprehensive Zoning Ordinance and Map should be amended as set forth herein; and

WHEREAS, the Village recognizes that the majority of the land covered by the zoning application is the subject of pending litigation which alleges that prior development rights exist against the property which could allow more intensive development of the Land than is proposed by the zoning applicants (collectively "HCG") in this development; and

WHEREAS, the development proposed by HCG complies with the current Village ordinances except as modified by the Planned Development Standards and is far more compliant with current ordinances than a prior proposed development which is the subject of the litigation; and

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE VILLAGE OF BEE CAVE, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Map of the Village of Bee Cave, Texas, be and the same are hereby, amended so as to grant a change of zoning from Planned Development District Town Center, Neighborhood Services, Office, Retail, and Public to a Planned Development District for those certain tracts of real property ("Property")

consisting of approximately 156.088 acres, and described in Exhibit "A" attached hereto and made a part hereof for all purposes. The Property shall be a Planned Development District pursuant to, and subject to compliance with, the terms and conditions of the Village Comprehensive Code of Ordinances except as modified by the Planned Development Standards attached hereto as Exhibit "C" which exhibit is incorporated herein for all purposes.

SECTION 2. That the concept plan for this Planned Development District which is attached hereto as Exhibit "B" and made a part hereof for all purposes and the same is hereby approved for said Planned Development District as required by Chapter 14, of the Comprehensive Code of Ordinances of the Village of Bee Cave, Texas. Any proposed use or development depicted on the concept plan shall not be deemed authorized or approved by the Village of Bee Cave until a final site plan is approved for such use and/or development in accordance with the terms and conditions of Chapter 14 of the Comprehensive Code of Ordinances. The concept plan can only be amended in accordance with the requirements of Chapter 14, of the Comprehensive Code of Ordinances.

SECTION 3. That the granting of this Planned Development District is subject to all applicable development regulations contained in the Code of Ordinances of the Village of Bee Cave, except as modified herein including, without limitation Chapter 14 as well as the following special conditions:

- a. That the Planned Development shall be constructed in accordance with the concept plan, which is attached hereto as Exhibit "B", as same may be amended from time to time in accordance with Section 2 of this Ordinance, and with the detailed site plans, which must be submitted, reviewed and approved as required by Chapter 14 of the Code of Ordinances prior to any development taking place on the Property;
- b. That the Planned Development on the Property must comply with (i) the Development Standards applicable to land located in the Town Center Base Zoning District as set forth in Chapter 14 of the Code of Ordinances; except as same are modified by the terms of Exhibit "C" to this Ordinance; (ii) the Concept Plan for this Project as approved by the Board of Alderman (iii) as otherwise required by this Ordinance.
- c. That the detailed site plan(s) required for any specific development on the Property, and all development shown thereon, must conform to the approved Concept Plan and all other ordinances of the Village and must be approved by the Board of Aldermen prior to the issuance of any permit or certificate necessary to proceed with accomplishment of the development indicated on the Concept Plan; and
- d. That all of the requirements of the Code of Ordinances of the Village including, without limitation, Chapter 14 (the Zoning Ordinance), and Chapter 10 (the Subdivision Ordinance), shall apply to this Planned Development and the Property, except for those requirements, which are modified for the Planned Development in this Ordinance attached Exhibit "C".

SECTION 4. That should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjusted or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of Chapter 14, Zoning, of the Village of Bee Cave Code of Ordinances and Map as a whole.

SECTION. 5. That any person, firm or corporation violating any of the provisions of this ordinance or Chapter 14, Zoning, of the Code of Ordinances, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the municipal court of the Village of Bee Cave, Texas, shall be punished by a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense, and each and every day of any such violation shall be deemed to constitute a separate offense, in accordance with Section 1.106 of the Village's Code of Ordinances.

SECTION 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption.

8th **DULY PASSED** by the Board of Aldermen of the Village of Bee Cave, Texas, on the day of March, 2005.

APPROVED:

Zelda Auslander
By: Zelda Auslander
Title: Mayor Pro Tem

ATTEST:
Sherry Mashburn
Sherry Mashburn, City Secretary

[SEAL]

EXHIBIT A

BEING A 156.088 ACRE TRACT LOCATED IN THE A. ZILLER SURVEY NUMBER 2 ABSTRACT 2529, THE JAS. G. SWISHER SURVEY NUMBER 152 ABSTRACT NUMBER 691, THE WILLIAM P. MOORE SURVEY NUMBER 525 ABSTRACT NUMBER 557, THE ORRAN WADE SURVEY NUMBER 540 ABSTRACT NUMBER 811, AND THE JOHN HOBSON SURVEY NUMBER 527 ABSTRACT NUMBER 387, TRAVIS COUNTY, TEXAS, AND BEING ALL OF A 31.9094 ACRE TRACT DESCRIBED IN A DEED TO TECHNOLOGY PROPERTIES, INC. AND RECORDED IN VOLUME 12101, PAGE 1883, REAL PROPERTY RECORDS, TRAVIS COUNTY, TEXAS, ALSO BEING ALL OF A 3.662 ACRE TRACT, THE REMAINDER OF A 66.47 ACRE TRACT, THE REMAINDER OF A 45.760 ACRE TRACT, AND ALL OF A 1.633 ACRE TRACT, ALL BEING CONVEYED TO BALDWIN PROPERTIES, LTD. AND DESCRIBED IN DOCUMENT NUMBER 2003036917; OF THE OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS, ALSO BEING ALL OF THE REMAINDER OF BEE CAVES COMMONS, A SUBDIVISION OF RECORD IN VOLUME 88, PAGE 325, OF THE PLAT RECORDS, TRAVIS COUNTY, TEXAS, ALSO BEING A PORTION OF A 6.009 ACRE TRACT CONVEYED TO WILLIAM J. MADDOX, AND DESCRIBED IN DOCUMENT NUMBER 1999022498, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS, ALSO BEING A PORTION OF A 5.5 ACRE TRACT CONVEYED TO HIGHLAND HILLS VFW, AND DESCRIBED IN VOLUME 8218, PAGE 501, DEED RECORDS, TRAVIS COUNTY, TEXAS, ALSO BEING A PORTION OF A 3.92 ACRE TRACT CONVEYED TO R.C. AND J. PURYEAR, AND DESCRIBED IN VOLUME 11960, PAGE 211, REAL PROPERTY RECORDS, TRAVIS COUNTY, TEXAS, AND ALSO BEING A PORTION OF TROUBLEMAKER SECTION ONE, A SUBDIVISION OF RECORD IN VOLUME 103, PAGE 74, PLAT RECORDS, TRAVIS COUNTY, TEXAS. SAID 156.088 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2 inch iron rod found in the north right-of-way (ROW) line of Bee Caves Road (R.M. 2244), (ROW varies), same being the southeast corner of said 66.47 acre tract, also being the southwest corner of Bee Caves Plaza, Section Two, a subdivision of record in Document Number 199900247, Official Public Records, Travis County, Texas, for the southeast corner of this tract and the **POINT OF BEGINNING**;

THENCE with the north ROW line of said Bee Caves Road, same being the south line of said 66.47 acre tract the following four (4) courses and distances:

1. S89°30'01"W, a distance of 80.15 feet to a TXDOT concrete monument found,
2. S89°49'16"W, a distance of 62.18 feet to a TXDOT concrete monument found,

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Village of Bee Cave

3. S80°34'19"W, a distance of 185.07 feet to a 1/2 inch iron rod with plastic cap found, and
4. N89°43'33"W, a distance of 25.52 feet to a TXDOT brass disk in concrete found at the intersection of the north ROW line of said Bee Caves Road and the north ROW line of State Highway 71 (ROW varies), same being a south corner of said 66.47 acre tract

THENCE with the north ROW line of said State Highway 71, same being the south line of said 66.47 acre tract, N66°38'55"W, a distance of 220.65 feet to a calculated point for a south corner of said 66.47 acre tract, same being the southeast corner of The Village at Bee Caves, Phase 1, a subdivision of record in Volume 100, Page 268, Plat Records, Travis County, Texas, also being a point in the north ROW line of said State Highway 71.

THENCE leaving said ROW line and with the east, north, and west lines of said Village at Bee Caves subdivision, same being the south line of said 66.47 acre tract the following three (3) courses and distances:

1. N23°21'07"E, a distance of 261.28 feet to a 1/2 inch iron rod found,
2. N66°37'43"W, a distance of 179.91 feet to a 1/2 inch iron rod found, and
3. S23°21'07"W, a distance of 261.34 feet to a 1/2 inch iron rod with plastic "VARA" cap found in the north ROW line of said State Highway 71, same being the southwest corner of said Village at Bee Caves subdivision, also being a south corner of said 66.47 acre tract.

THENCE with the north ROW line of said State Highway 71, same being the south line of said 66.47 acre tract, the south line of said Bee Caves Commons, and said 45.760 acre tract, the following eight (8) courses and distances:

1. N66°38'55"W, a distance of 606.82 feet to a TXDOT brass disk in concrete found,
2. N35°38'36"W, a distance of 38.26 feet to a TXDOT brass disk in concrete found,
3. N66°40'51"W, a distance of 328.08 feet to a TXDOT brass disk in concrete found,
4. N49°47'50"W, a distance of 102.78 feet to a TXDOT brass disk in concrete found,
5. N66°40'13"W, a distance of 459.16 feet to a TXDOT brass disk in concrete found,
6. N77°51'51"W, a distance of 100.61 feet to a TXDOT brass disk in concrete found,
7. N66°39'08"W, a distance of 426.63 feet to a TXDOT brass disk in concrete found, and
8. N77°08'12"W, a distance of 253.20 feet to a 1/2 inch iron rod found in the east property line of Lot 15, of the Glass-Bohls Subdivision, a subdivision of record in Volume 90, Page 274, Plat Records, Travis County, Texas, same

being a southwest corner of said 45.760 acre tract, also being a corner in the north ROW line of said State Highway 71.

THENCE leaving said ROW line and with the east line of said Lot 15, same being a west line of said 45.760 acre tract, N13°22'57"E, a distance of 209.67 feet to a 1/2 inch iron rod found for the northeast corner of said Glass-Bohls Subdivision, same being the south east corner of a 42.929 acre (Remainder) tract conveyed to Baldwin Investments and described in Volume 10846, Page 477, Real Property Records, Travis County, Texas, also being a corner in a southwest line of said 45.760 acre tract.

THENCE with the east, north, and west lines of the said 42.929 acre (Remainder) tract, same being south lines of said 45.760 acre tract, the following three (3) courses and distances:

1. N13°22'11"E, a distance of 141.56 feet to a 1/2 inch iron rod with plastic "VARA" cap found,
2. N76°35'16"W, a distance of 247.99 feet to a 1/2 inch iron rod found, and
3. S13°36'24"W, a distance of 141.65 feet to a 1/2 inch iron rod found for the southwest corner of said 42.929 acre (Remainder) tract, same being the northwest corner of said Lot 15, also being a point in an east line of said 45.760 acre tract.

THENCE with the east line of said 45.760 acre tract, same being the west line of said Lot 15, S13°27'17"W, a distance of 174.90 feet to a 1 inch iron pipe found in the east ROW line of R.M. 620, (ROW varies), same being the southwest corner of said Lot 15, also being a south corner of said 45.760 acre tract.

THENCE with the east ROW line of said R.M. 620, same being a south line of said 45.760 acre tract, N54°32'05"W, a distance of 19.86 feet to a 1 inch iron pipe found in the west ROW line of said R.M. 620, same being the southeast corner of a 0.85 acre tract conveyed to Ethel Hudson Thurman, and described in Volume 2876, Page 554, Deed Records, Travis County, Texas, also being a south corner of said 45.760 acre tract.

THENCE with the west line of the said 45.760 acre tract, same being the east line of said 0.85 acre tract and the east and north lines of a 1.24 acre tract conveyed to Shirley Thurman Grumbles, and described in Volume 13323, Page 1016, Real Property Records, Travis County, Texas, N13°14'26"E, a distance of 418.29 feet to a 1/2 inch iron rod found, for the northeast corner of said 1.24 acre tract, same being the southeast corner of said 1.633 acre tract, also being in the east line of said 45.760 acre tract.

THENCE with the south line of the said 1.633 acre tract, same being the north lines of said 1.24 acre tract, N66°47'02"W, a distance of 353.33 feet to a 1/2 inch iron rod found in the east ROW line of said R.M. 620, same being the northwest corner of said 1.24 acre tract, also being the southwest corner of said 1.633 acre tract.

THENCE with the east ROW line of said R.M. 620, same being the west line of said

1.633 acre tract and said 45.760 acre tract, the following three (3) courses and distances:

1. N15°35'09"W, a distance of 264.34 feet to a TXDOT brass disk in concrete found,
2. N19°46'35"W, a distance of 53.60 feet to a 3/4 inch iron pipe found, and
3. N19°20'10"W, a distance of 38.61 feet to a 3/4 inch iron pipe found in the east ROW line of said R.M. 620, same being a west corner of said 45.760 acre tract, also being an east corner of the Travis County Subdivision No. Two, a subdivision of record in Volume 100, Page 268, Plat Records, Travis County, Texas.

THENCE with the south, east, and north lines of said Travis County Subdivision No. Two, same being west lines of said 45.760 acre tract, the following five (5) courses and distances:

1. N56°11'48"E, a distance of 8.13 feet to a 3/4 inch iron pipe found,
2. S32°51'32"E, a distance of 10.01 feet to a 1/2 inch iron rod found,
3. S47°20'00"E, a distance of 106.22 feet to a 1/2 inch iron rod found,
4. N21°50'40"E, a distance of 582.01 feet to a 1/2 inch iron rod found, and
5. N60°39'51"W, a distance of 359.35 feet to calculated point in the east line of said 6.009 acre tract, same being the northwest corner of said Travis County Subdivision No. Two, also being the west corner of said 45.760 acre tract.

THENCE with the west line of said Travis County Subdivision No. Two, same being the east line of said 6.009 acre tract, the following two (2) courses and distances:

1. S37°13'35"W, a distance of 42.91 feet to a 1/2 inch iron rod found, and
2. S46°05'26"W, a distance of 265.76 feet to a 1/2 inch iron rod found in the northeast ROW line of said R.M. 620, same being the west corner of said Travis County Subdivision No. Two, also being the southeast corner of said 6.009 acre tract.

THENCE with the north ROW line of said R.M. 620, same being the south line of said 6.009 acre tract, N40°02'34"W, a distance of 60.40 feet to a 1/2 inch iron rod found in the north ROW line of said R.M. 620, same being the southwest corner of said 6.009 acre tract, also being the southeast corner of the remainder of said 5.5 acre tract.

THENCE with the east line of the remainder of said 5.5 acre tract, same being the west line of said 6.009 acre tract, N44°53'05"E, a distance of 298.91 feet to a calculated point for a west corner of said 6.009 acre tract, same being a west corner of the remainder of said 5.5 acre tract.

THENCE leaving said common line and crossing said 6.009 acre tract, said 45.760 acre tract, said 5.5 acre tract, and said 3.92 acre tract, the following three (3) courses and distances:

1. N60°42'58"E, a distance of 367.90 feet to a calculated point,

2. N29°17'47"W, a distance of 532.97 feet to a calculated point, and
3. S32°43'50"W, a distance of 85.11 feet to a 1 inch iron rod in concrete found in the south line of said 3.92 acre tract, same being the northwest corner of said 5.5 acre tract, also being the east corner of a 6.947 acre tract conveyed to Duane James Terry, and described in Volume 12657, Page 1860, Real Property Records, Travis County, Texas.

THENCE with the south and west lines of said 3.92 acre tract, same being the north lines of said 6.947 acre tract, the following two (2) courses and distances:

1. N62°10'44"W, a distance of 237.62 feet to a 1/2 inch iron rod found, and
2. N02°07'31"E, a distance of 189.38 feet to a 1 inch iron rod in concrete found for a south corner of said Troublemaker subdivision, same being the northwest corner of said 3.92 acre tract, also being the northeast corner of said 6.947 acre tract.

THENCE with the south line of said Troublemaker tract, same being the north line of said 3.92 acre tract, S77°05'56"E, a distance of 123.37 feet to a calculated point in said common line.

THENCE leaving said common line and crossing said Troublemaker tract the following two (2) courses and distances:

1. With the arc of a curve to the left a distance of 1083.76 feet, through a central angle of 65°42'33", having a radius of 945.00 feet, and whose chord bears N72°04'04"W, a distance of 1025.34 feet to a calculated point, and
2. S75°04'40"W, a distance of 31.40 feet to a calculated point in the west line of said Troublemaker tract, same being the east line of said R.M. 620.

THENCE with the east ROW line of said R.M. 620, same being the west line of said Troublemaker tract, the following two (2) courses and distances:

1. N18°04'22"W, a distance of 272.77 feet to a TXDOT type II monument found, and
2. With the arc of a curve to the left a distance of 240.18 feet, through a central angle of 10°12'24", having a radius of 1348.24 feet, and whose chord bears N20°32'19"W, a distance of 239.86 feet to a calculated point in said ROW line, same being the northwest corner of said Troublemaker tract, also being the southwest corner of an 819.739 acre tract conveyed to the City of Austin and described in Volume 12124, Page 143, Real Property Records, Travis County, Texas.

THENCE with the north line of said Troublemaker tract, same being the south line of said 819.739 acre tract, N88°45'35"E, a distance of 190 feet to a calculated point in said common line.

THENCE leaving said common line and crossing said Troublemaker tract the following three (3) courses and distances:

1. S09°31'59"W, a distance of 208.34 feet to a calculated point,
2. S18°04'22"E, a distance of 167.41 feet to a calculated point, and
3. With the arc of a curve to the right a distance of 1303.65 feet, through a central angle of 70°47'59", having a radius of 1055.00 feet, and whose chord bears S67°28'29"E, a distance of 1222.28 feet to a calculated point in the south line of said Troublemaker tract, same being the north line of said 3.92 acre tract.

THENCE with the north line of said 3.92 acre tract, same being the south line of said Troublemaker tract, S77°02'56"E, a distance of 230.18 feet to a cotton spindle found for the southeast corner of said Troublemaker tract, same being a southwest corner of said 819.739 acre tract, also being a point in the north line of said 3.92 acre tract.

THENCE with the north line of said 3.92 acre tract, same being a south line of said 819.739 acre tract, S77°22'13"E, a distance of 164.44 feet to a ½ inch iron rod found for the northeast corner of said 3.92 acre tract, same being a point in the south line of said 819.739 acre tract, also being the northwest corner of said 6.009 acre tract.

THENCE with the north line of said 6.009 acre tract, same being a south line of said 819.739 acre tract, S76°46'31"E, a distance of 276.72 feet to a calculated point in said common line.

THENCE leaving said common line and crossing said 3.92 acre tract and said 6.009 acre tract the following seven (7) courses and distances:

1. S63°22'07"W, a distance of 143.52 feet to a calculated point,
2. N70°03'44"W, a distance of 137.19 feet to a calculated point,
3. S59°02'55"W, a distance of 262.60 feet to a calculated point,
4. S29°17'47"E, a distance of 196.22 feet to a calculated point,
5. N60°42'13"E, a distance of 120.12 feet to a calculated point,
6. S49°44'17"E, a distance of 85.54 feet to a calculated point, and
7. S29°17'47"E, a distance of 175.95 feet to a calculated point in the south line of said 6.009 acre tract, same being a north line of said 45.760 acre tract.

THENCE with the south line of said 6.009 acre tract, same being the north line of said 45.760 acre tract, S77°06'32"E, a distance of 146.00 feet to a ¾ inch iron pipe found for an east corner of said 6.009 acre tract, same being a point in the west line of a 462.4037 acre tract conveyed to the City of Austin and described in Volume 12396, Page 1204, Real Property Records, Travis County, Texas.

THENCE with the east and north lines of said 45.760 acre tract and said 66.47 acre tract, same being the west and south lines of said 462.4037 acre tract and a 12.268 acre tract

conveyed to the L.C.R.A. and described in Document Number 2001056302, Official Public Records, Travis County, Texas, the following two (2) courses and distances:

1. S12°35'44"W, a distance of 327.14 feet to a 3/4 inch iron pipe found, and
2. S70°13'01"E, a distance of 1884.98 feet to a 1/2 inch iron rod with plastic cap found, for a southeast corner of said 462.4037 acre tract, same being the west corner of said 3.662 acre tract, also being a point in the north line of said 66.47 acre tract.

THENCE with the common line of said 3.662 acre tract and said 462.4037 acre tract the following five (5) courses and distances:

1. N61°00'54"E, a distance of 196.44 feet to a 1/2 inch iron rod with plastic cap found,
2. N87°33'49"E, a distance of 433.24 feet to a 1/2 inch iron rod found,
3. N65°19'12"E, a distance of 38.74 feet to a 1/2 inch iron rod found,
4. N87°43'36"E, a distance of 647.80 feet to a 1/2 inch iron rod found, and
5. N45°10'09"E, a distance of 75.12 feet to a 1/2 inch iron rod found for the southeast corner of said 462.4037 acre tract, same being a point in the southwest line of Lake Pointe Phase II, a subdivision of record in Volume 97, Page 84, Plat Records, Travis County, Texas, also being the northeast corner of said 3.662 acre tract.

THENCE with the east lines of said 3.662 acre tract and said 31.9094 acre tract, same being the southwest line of said Lake Pointe subdivision, S41°11'34"E, a distance of 1845.56 feet to a 1/2 inch iron rod found, in the curving north ROW line of said Bee Caves Road, same being the east corner of said 31.9094 acre tract, also being the south corner of said Lake Pointe subdivision.

THENCE with the south line of said 31.9094 acre tract, same being the north ROW line of said Bee Caves Road the following two (2) courses and distances:

1. With the arc of a curve to the left a distance of 56.87 feet, through a central angle of 1°38'15", having a radius of 1989.93 feet, and whose chord bears S54°32'32"W, a distance of 56.87 feet to a calculated point, from which a TXDOT type II monument found bears, S53°43'25"W, a distance of 0.21 feet, and
2. S53°43'07"W, a distance of 808.02 feet to a 5/8 inch iron rod found in the north ROW line of said Bee Caves Road, same being the south corner of said 31.9094 acre tract, also being the southeast corner of Lot 2, of Bee Caves Plaza Section One, a subdivision of record in Volume 97, Page 106, Plat Records, Travis County, Texas.

THENCE leaving said ROW line and with the east line of said Lot 2, same being a west line of said 31.9094 acre tract, N18°13'50"W, at an approximate distance of 308 feet passing the northeast corner of said Lot 2, same being the southeast corner of a 4.84 acre

tract conveyed to Ted L. Stewart, Trustee, and described in Volume 13047, Page 244, Real Property Records, Travis County, Texas, thence continuing with the west line of said 31.9094 acre tract same being the east line of said 4.84 acre tract, for a total distance of 1027.22 feet to a 1/2 inch iron rod found.

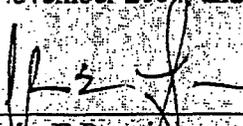
THENCE continuing with said common line, N44°29'59"W, a distance of 147.70 feet to a 1/2 inch iron rod with plastic "VARA" cap found for a common corner.

THENCE continuing with said common line, S89°40'20"W, at an approximate distance of 169 feet passing the northwest corner of said 4.84 acre tract, same being the northeast corner of Lot 1, of said Bee Caves Plaza Section One, thence continuing with a south line of said 31.9094 acre tract, same being the north line of said Lot 1, at an approximate distance of 346 feet passing the northwest corner of said Lot 1, same being the northeast corner of Bee Caves Plaza Section Three, a subdivision of record in Volume 101, Page 92, Plat Records, Travis County, Texas, thence continuing with the north line of said Bee Caves Plaza Section Three, same being a south line of said 31.9094 acre tract, a total distance of 657.81 feet to a 1/2 inch iron rod found in the east line of said 66.47 acre tract, same being the southwest corner of said 31.9094 acre tract, also being the northeast corner of said Bee Caves Plaza Section Three.

THENCE with east line of said 66.47 acre tract, same being the west lines of said Bee Caves Plaza Section Three, a 7.69 acre tract conveyed to Ted L. Stewart, Trustee, and described in Volume 13047, Page 244, Real Property Records, Travis County, Texas, and said Bee Caves Plaza Section Two, S10°17'49"E, a distance of 1295.56 feet to the **POINT OF BEGINNING** and containing 156.088 acres of land, more or less.

BEARING BASIS: Texas State Plane Coordinate System, Central Zone, NAD83/HARN

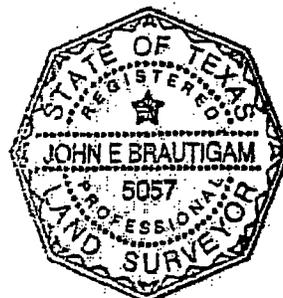
I, John E. Brautigam hereby certify that the foregoing description represents an on-the-ground survey performed under my direction and supervision during September thru November 2004, and is true and correct to the best of my knowledge and belief.

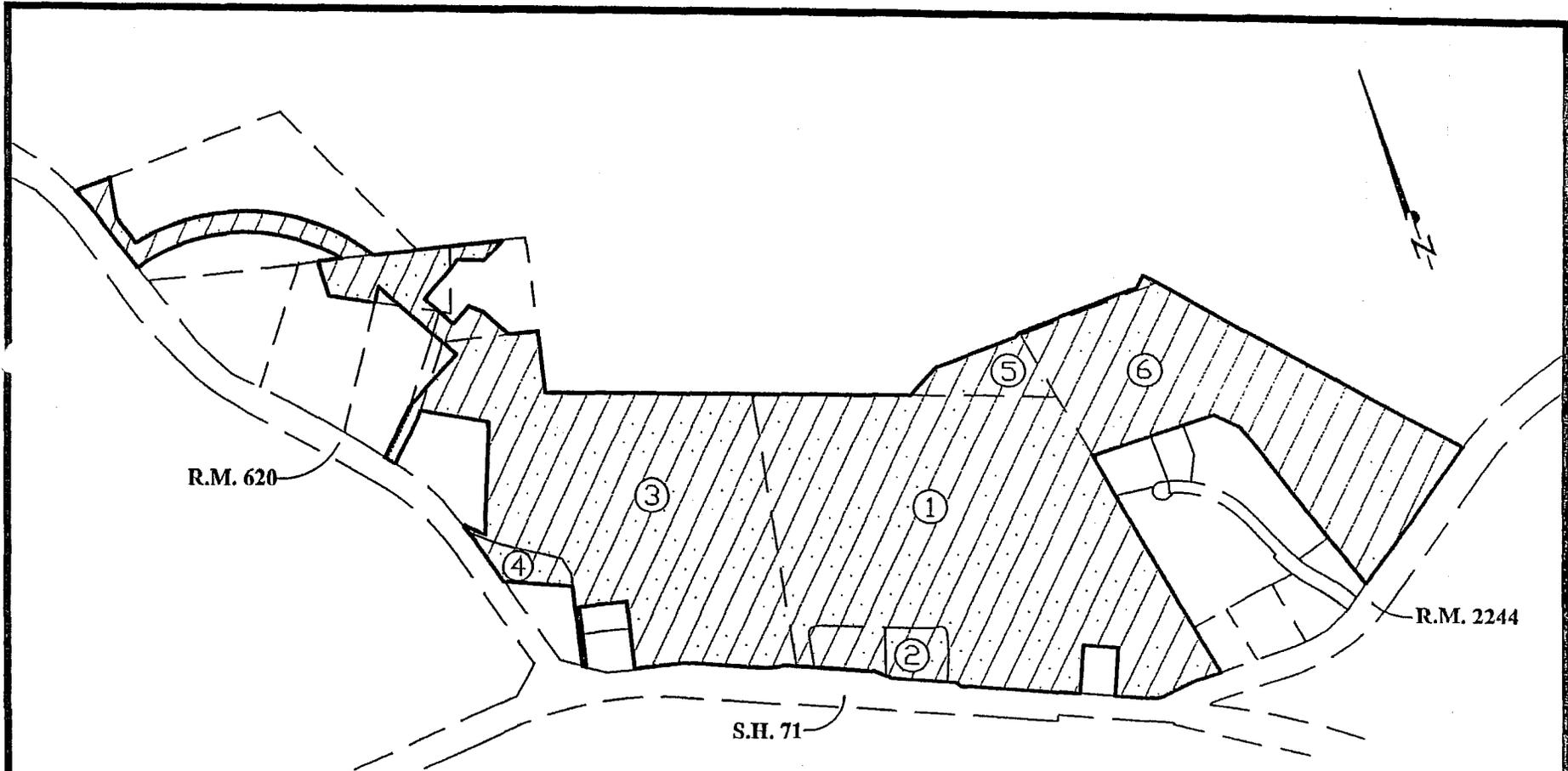


John E. Brautigam
Registered Professional Land Surveyor
No. 5057-State of Texas

1/19/05
Date

Delta Survey Group, Inc.
8213 Brodie Lane, Suite 102
Austin, Texas 78745



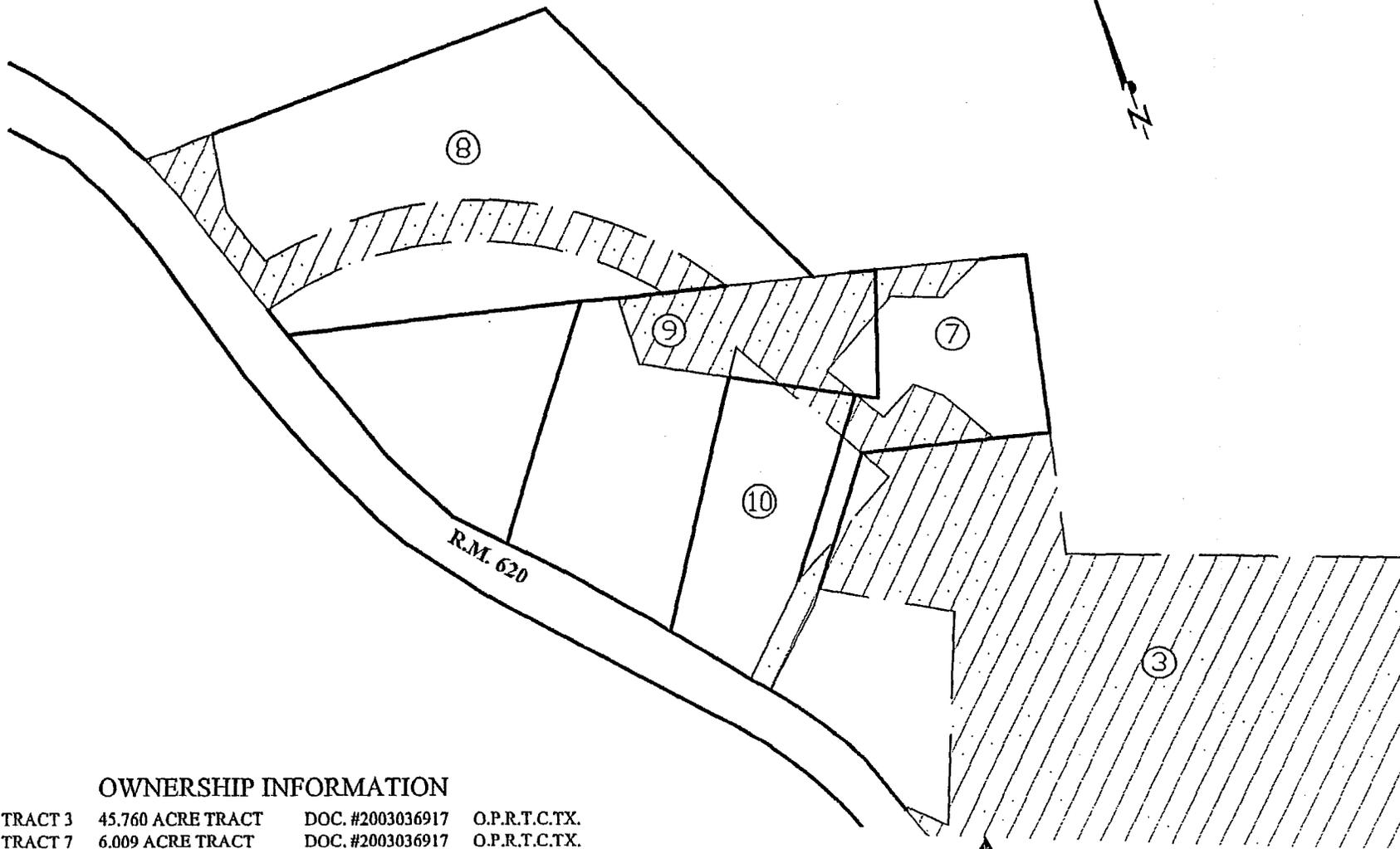


OWNERSHIP INFORMATION

TRACT 1	66.47 ACRE TRACT	DOC. #2003036917	O.P.R.T.C.TX.
TRACT 2	BEE CAVES COMMONS	VOL. 88, PG. 325	P.R.T.C.TX.
TRACT 3	45.760 ACRE TRACT	DOC. #2003036917	O.P.R.T.C.TX.
TRACT 4	1.633 ACRE TRACT	DOC. #2003036917	O.P.R.T.C.TX.
TRACT 5	3.662 ACRE TRACT	DOC. #2003036917	O.P.R.T.C.TX.
TRACT 6	31.9094 ACRE TRACT	VOL. 12101, PG.1883	R.P.R.T.C.TX.

Delta Survey Group Inc.

8213 Brodie Lane Ste. 102 Austin, TX. 78745
 office: (512) 282-5200 fax: (512) 282-5230



OWNERSHIP INFORMATION

TRACT 3	45.760 ACRE TRACT	DOC. #2003036917	O.P.R.T.C.TX.
TRACT 7	6.009 ACRE TRACT	DOC. #2003036917	O.P.R.T.C.TX.
TRACT 8	TROUBLEMAKER	VOL. 103, PG. 74	P.R.T.C.TX.
TRACT 9	3.92 ACRE TRACT	VOL. 11960, PG. 211	R.P.R.T.C.TX.
TRACT 10	5.5 ACRE TRACT	VOL. 8218, PG. 501	D.R.T.C.TX.

Delta Survey Group Inc.

8213 Brodie Lane Ste. 102 Austin, TX. 78745
 office: (512) 282-5200 fax: (512) 282-5230

EXHIBIT "B"

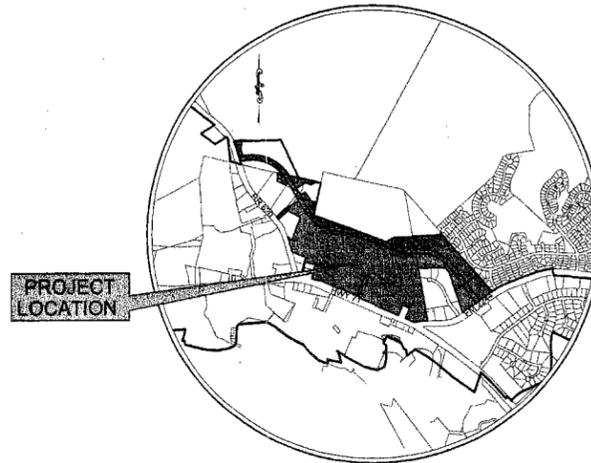
Hill Country Galleria Concept Plan Village of Bee Cave Highway 71 @ F.M. 620 and R.M. 2244

January 31st, 2005

I, Steven L. Ihnen do hereby certify that the engineering work being submitted herein complies with all provisions of the Texas Engineering Practice Act, including Section 131.152(e). I hereby acknowledge that any misrepresentation regarding this certification constitutes a violation of the Act, and may result in criminal, civil and/or administrative penalties against me, as authorized by the Act. These plans are conceptual and are not authorized for construction.


Steven L. Ihnen, P.E.
Garrett-Ihnen Civil Engineers
Date: 2-18-05

Sheet	Title	Scale
C1	Cover Sheet	
C1.1	Legend	
C2.1	Existing Conditions (Overall 1 of 2)	1" = 200'
C2.2	Existing Conditions (Overall 2 of 2)	1" = 200'
C2.3	Existing Conditions (Detail 1 of 3)	1" = 100'
C2.4	Existing Conditions (Detail 2 of 3)	1" = 100'
C2.5	Existing Conditions (Detail 3 of 3)	1" = 100'
C2.6	Existing Conditions (Tree List 1 of 2)	NTS
C2.7	Existing Conditions (Tree List 2 of 2)	NTS
C3.0	Proposed Conditions Project Overall	NTS
C3.1	Proposed Conditions (Overall 1 of 2)	1" = 200'
C3.2	Proposed Conditions (Detail 2 of 2)	1" = 200'
C3.3	Proposed Conditions (Detail 1 of 3)	1" = 100'
C3.4	Proposed Conditions (Detail 2 of 3)	1" = 100'
C3.5	Proposed Conditions (Detail 3 of 3)	1" = 100'
C4.1	Erosion/Sedimentation (Overall 1 of 2)	1" = 200'
C4.2	Erosion/Sedimentation (Overall 2 of 2)	1" = 200'
C4.3	Erosion/Sedimentation (Detail 1 of 3)	1" = 100'
C4.4	Erosion/Sedimentation (Detail 2 of 3)	1" = 100'
C4.5	Erosion/Sedimentation (Detail 3 of 3)	1" = 100'
C4.6	Erosion/Sedimentation (E/S Details)	NTS
C4.7	Erosion/Sedimentation (Tree Protection Details)	NTS
C5.1	Existing Drainage Areas (1 of 2)	1" = 200'
C5.2	Existing Drainage Areas (2 of 2)	1" = 200'
C5.3	Proposed Drainage Areas (1 of 2)	1" = 200'
C5.4	Proposed Drainage Areas (2 of 2)	1" = 200'
C5.5	WQ Pond A1 Plan & Section	1" = 20'
C5.6	WQ Pond F1 Plan & Section	1" = 20'
C5.7	Detention Pond F1	1" = 20'
C5.8	WQ Pond G1 Plan & Section	1" = 20'
C5.9	Detention Pond G1	1" = 20'
C5.10	WQ Pond I1 Plan & Section	1" = 20'
C5.11	WQ Pond I2 Plan & Section	1" = 20'
C5.12	Detention Pond I1-2	1" = 20'
C5.13	WQ Pond J1 Plan & Section	1" = 20'
C5.14	WQ Pond L2 Plan & Section	1" = 20'
C5.15	Detention Pond L2	1" = 20'
C5.16	WQ Pond L3 Plan & Section	1" = 20'
C5.17	Detention Pond L3	1" = 20'
C5.18	WQ Pond L4 Plan & Section	1" = 20'
C5.19	Reirrigation Areas (Detail 1 of 3)	1" = 100'
C5.20	Reirrigation Areas (Detail 2 of 3)	1" = 100'
C5.21	Reirrigation Areas (Detail 3 of 3)	1" = 100'
T1	Architectural Cover Sheet	1" = 200'
A1.1	Conceptual Site Plan	
L1.1	Tree Preservation/Concept Landscape Plan	1" = 200'
L2.1	Tree Preservation/Concept Landscape Plan - Part 1	1" = 100'
L2.2	Tree Preservation/Concept Landscape Plan - Part 2	1" = 100'
A3.1	Building F Elevations	
A3.2	Building D1/D2 Elevations	
A3.3	Buildings E, T, S, R Elevations	
A3.4	Buildings C1/C2, P, O, Junior Anchor	
A3.5	Buildings A, U, T, Junior Anchor, Village Hall, Amphitheater	
A3.6	Anchor 1 Elevations (Sheet 1)	
A3.7	Anchor 1 Elevations (Sheet 2)	
A3.8	Anchor 2 Elevations (Sheet 1)	
A3.9	Anchor 2 Elevations (Sheet 2)	
A5.1	One-Level Facade Prototypes (Sheet 1)	
A5.2	One-Level Facade Prototypes (Sheet 2)	
A5.3	Two-Level Facade Prototypes	

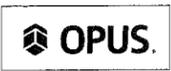
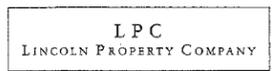


- A - Agriculture District
- SF-RR - Single-Family Rural Residential
- SF-20 - Single-Family Residential 20
- SF-FH - Single-Family Residential- Patio Home
- SFA - Single-Family Attached Residential
- MF-1 - Multi-Family
- O - Office
- NS - Neighborhood Service
- R - Retail District
- TC - Town Center
- C - Commercial
- MU - Mixed Use
- P - Public Use
- PD - Planned Development



Revision 1: Add Zoning Legend

RECEIVED
APR 18 2005
Village of Bee Cave



**7800 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TEXAS 78757
(512) 454-2400**

Title Block Data

Project Name: Hill Country Galleria
Date Prepared: 01/26/05
Owner: HCG Master Ground Lease
c/o Chris Milam
100 South Congress 20th floor
Austin, TX 78701
(512) 370-4010
Fax: (512) 233-1704

Legal Descriptions:
114.42 of 114.66 Acres
Baldwin Properties, LTD.
Travis County Document No. 2002036917

31.91 Acres
Technology Properties, Inc.
Volume 12101 Page 1883

1.97 of 6.01 Acres
William J. Maddox
Travis County Document No. 1999022498

3.45 of 3.92 Acres
R.C. and J. Puryear
Volume 11963 Page 211

.268 of 5.5 Acres
Highland Hills VFW
Volume 6218 Page 501

4.07 of 20.0 Acres
Troublemaker
Volume 103 Page 74

Total Site Acreage: 158.088 Acres
Name of Subdivision: Hill Country Galleria
Approximately 16 Lots

Proposed Zoning: PD Planned Development District
Street Location: Highway 71 @ F.M. 620 and R.M. 2244
County: Travis County
Precinct: Travis County Precinct 3
Tax Map Parcel IDs: 0118970201, 0118970233, 0118970212, 0118970224, 0118970302, 0118970240, 0118970231, 0118970230, 0118970229, 0118970228, 0118970191, 118970235, 0118970210, 0118970204

Municipal Corporate Limits: Village of Bee Cave
School District: Lake Travis ISD
Fire and Emergency Service District: Travis County ESD #6 (Hudson Bend FD)
TXDOT District: Austin District
Watershed: Little Barton Creek/Lake Austin
Recharge Zone: No
Contributing Zone: Yes (Edwards Aquifer)
FEMA Floodplain Panel No.: 48453C0335E (Dated 6-19-93)
48453C0295E

Electric Service Provider: City of Austin Electric (Ph. # 322-9600)
Water Service Provider: LCRA (Ph. # 397-6784)
Wastewater Disposal Service Provider: LCRA (Ph. # 397-6784)
Telephone Service Provider: SBC (Ph. # 800-585-7929)

Engineering Firm Name: Garrett-Ihnen Civil Engineers, Inc.
Contact Person: Steve Ihnen
7800 Shoal Creek Blvd., Suite 200-W
Austin, Texas 78757
Telephone: (512) 454-2400
Fax: (512) 454-2400

Surveying Firm Name: Delta Survey Group, Inc.
Contact Person: John Brauligam
5213 Brodie Lane, Suite 102
Austin, Texas 78745
Telephone: (512) 282-6200
Fax: (512) 282-8230

Primary Contact Agent Firm Name: HCG Master Ground Lease
Contact Agent: Chris Milam
100 South Congress 20th floor
Austin, TX 78701
(512) 370-4010
Fax: (512) 233-1704

Lead Planner Firm Name: RTKL Associates Inc.
Contact Person: Harold G. Thompson
1717 Pacific Avenue
Dallas, Texas 75201
Telephone: (214) 458-7814
Fax: (214) 671-7023

Architectural Firm Name: RTKL Associates Inc.
Contact Person: Harold G. Thompson
As Above

Firm Name(s) of Property Owner(s): Baldwin Properties Ltd
4007 Lochwood Bend Ct
Austin, TX 78738

Troublemaker Studios
4900 Ole Manor Road
Austin, Texas 78723
Attention: Elizabeth Avellan
(512) 480-8833 Fax: (512) 391-1549

WILLIAM J. MADDOX and PEGGY A. MADDOX
3837 RR 620 South
Austin, TX 78738
(512) 265-2963 Fax: (512) 263-2244

VFW Post #4445
VFW/Bee Cave SR Citizen Ct
3927 RR 620 S
Austin, TX 78738-6309

Randall Puryear
PO Box 340076
Austin, TX 78734

Technology Properties Inc
5200 Green Falls Ct
Austin, TX 78746

All responsibility for the adequacy of these plans remains with the engineer who prepared them. In approving these plans, the Village of Bee Cave must rely upon the adequacy of the work of the design engineer.

Cover Sheet C1

Concept Plan 01-31-05



MATTHEW WILLIAMS SURVEY NO. 900
MATTHEW ABSTRACT



SHEET NUMBER
C2.2



7000 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TEXAS 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420



HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
EXISTING CONDITIONS
OVERALL 2 OF 2

REVISIONS/CORRECTIONS			
No.	Description	Revised Date of Sheet(s)	Approval Stamp of Designer

DATE: 1/26/2005
DESIGNED: SJJ
DRAWN: GSW
CHECKED: JKR
JOB NO: 04034



CITY OF AUSTIN
VOL. 12667, PG. 0104
D.R.T.C. 72
(R.C.C. 7)

DATE: 1/26/2005
DESIGNED: SLJ
DRAWN: GBW
CHECKED: JKR
JOB NO.: 04034

REVISIONS/CORRECTIONS	
No.	Description

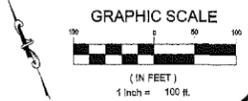
HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
EXISTING CONDITIONS
DETAIL 1 OF 3

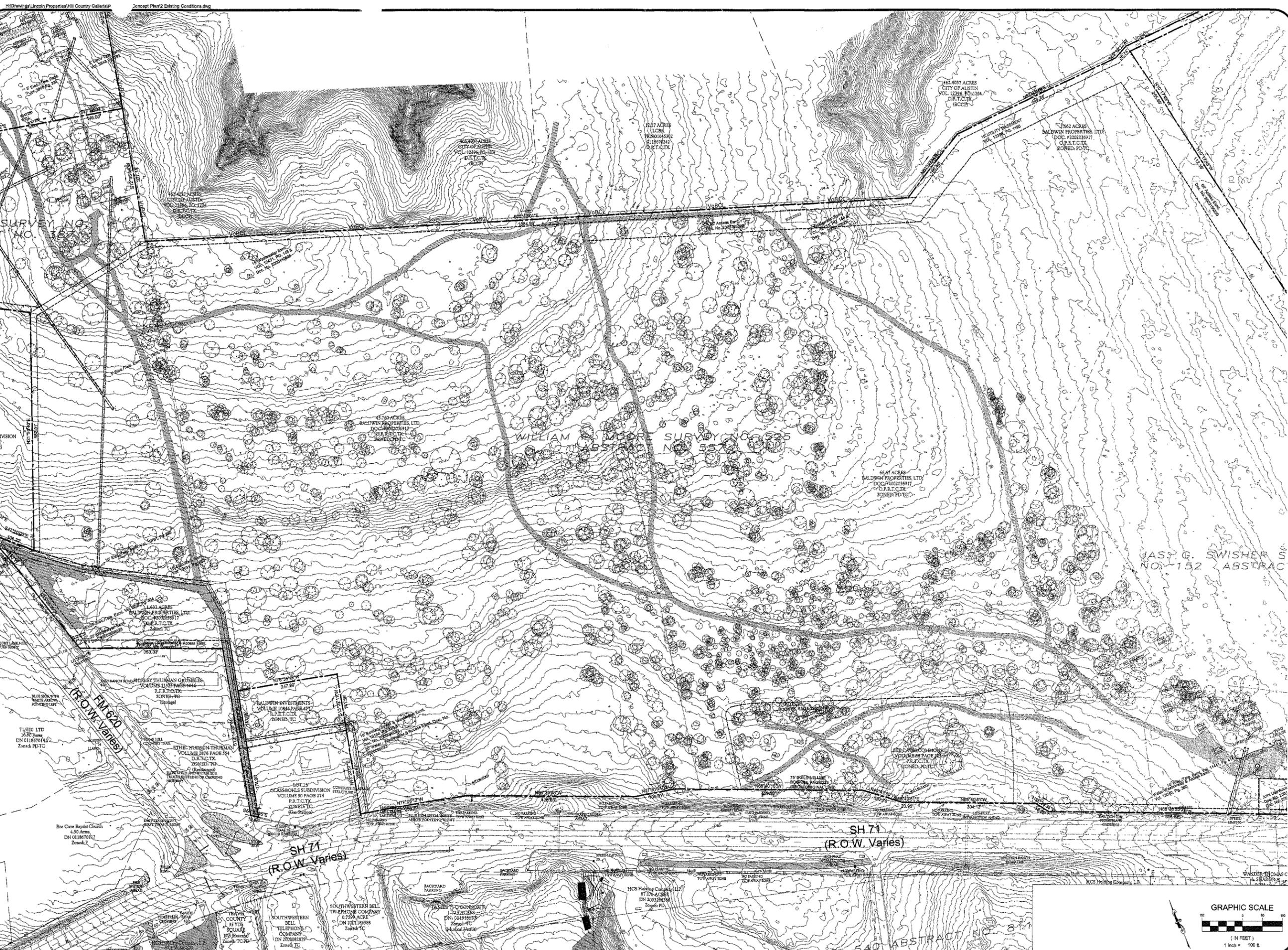


7800 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TEXAS 78757
TELEPHONE: (512) 454-4400
FAX/EMAIL: (512) 454-2420



SHEET NUMBER
C2.3





DATE: 1/26/2005
 DESIGNED: [Blank]
 DRAWN: [Blank]
 CHECKED: [Blank]
 JOB NO.: 04034

REVISIONS/CORRECTIONS	
No.	Description

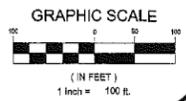
HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 EXISTING CONDITIONS
 DETAIL 2 OF 3



7800 SHOAL CREEK BOULEVARD
 SUITE 200-W
 AUSTIN, TEXAS 78757
 TELEPHONE: (512) 454-2400
 FACSIMILE: (512) 454-2420

GARRETT-IHNEN
 CIVIL ENGINEERS

SHEET NUMBER
C2.4





DATE: 1/26/2005
 DESIGNED: [Blank]
 DRAWN: [Blank]
 CHECKED: [Blank]
 JOB NO.: 04034

REVISIONS/CORRECTIONS	
No.	Description

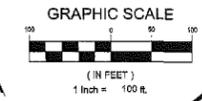
HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 EXISTING CONDITIONS
 DETAIL 3 OF 3



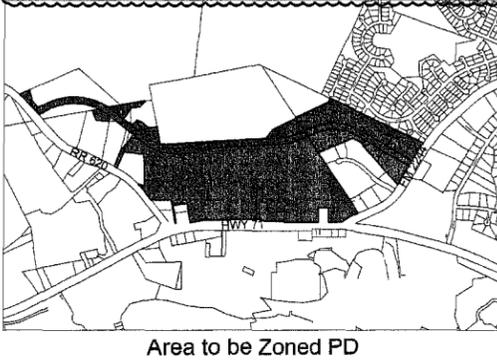
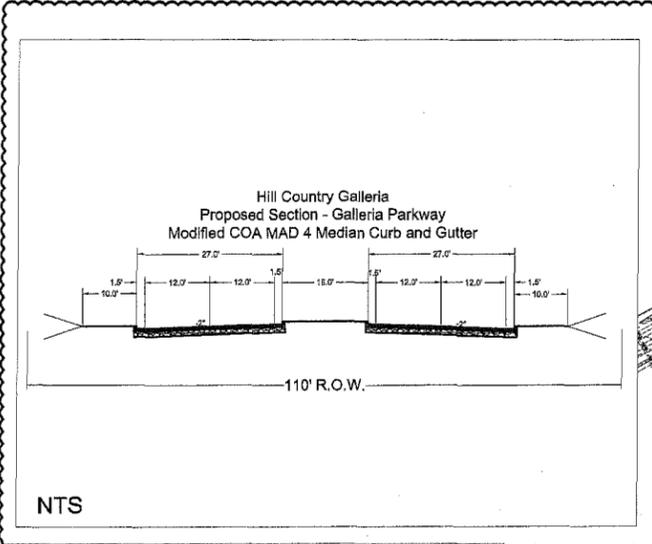
7800 SHOAL CREEK BOULEVARD
 SUITE 200-W
 AUSTIN, TEXAS 78757
 TELEPHONE: (512) 454-2400
 FACSIMILE: (512) 434-2420

GARRETT-IHNEN
 CIVIL ENGINEERS

SHEET NUMBER
C2.5



Note 1: Residential use for Residential 1-4 will not exceed 60 Units.
 Note 2: Residential use for Future Blocks A,B,C, & D will not exceed 375 total units density calculated per zoning district area.



Scale: Not to Scale
 For Illustrative/Conceptual purposes only

DATE: 2/18/2005
 DESIGNED: BL
 DRAWN: CEW
 CHECKED: JKE
 JOB NO.: 04094

REVISIONS/CORRECTIONS	
No.	Description
1	Added Section for Galleria Parkway
2	Refined Articulation on Buildings
3	Adjusted Village Lot

HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 PROPOSED CONDITIONS
 PROJECT OVERALL



7800 SHOAL CREEK BOULEVARD
 AUSTIN, TEXAS 78757
 TELEPHONE: (512) 454-2400
 FACSIMILE: (512) 454-2420



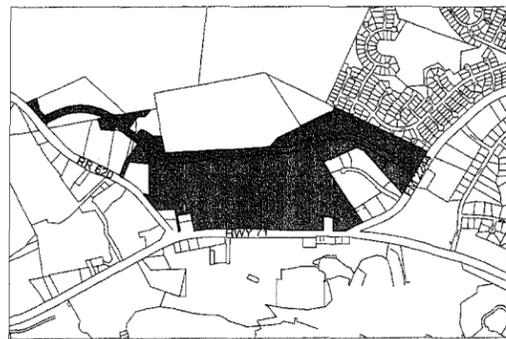
SHEET NUMBER
C3.0

Note 1: Residential use for Residential 1-4 will not exceed 60 Units.

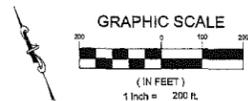
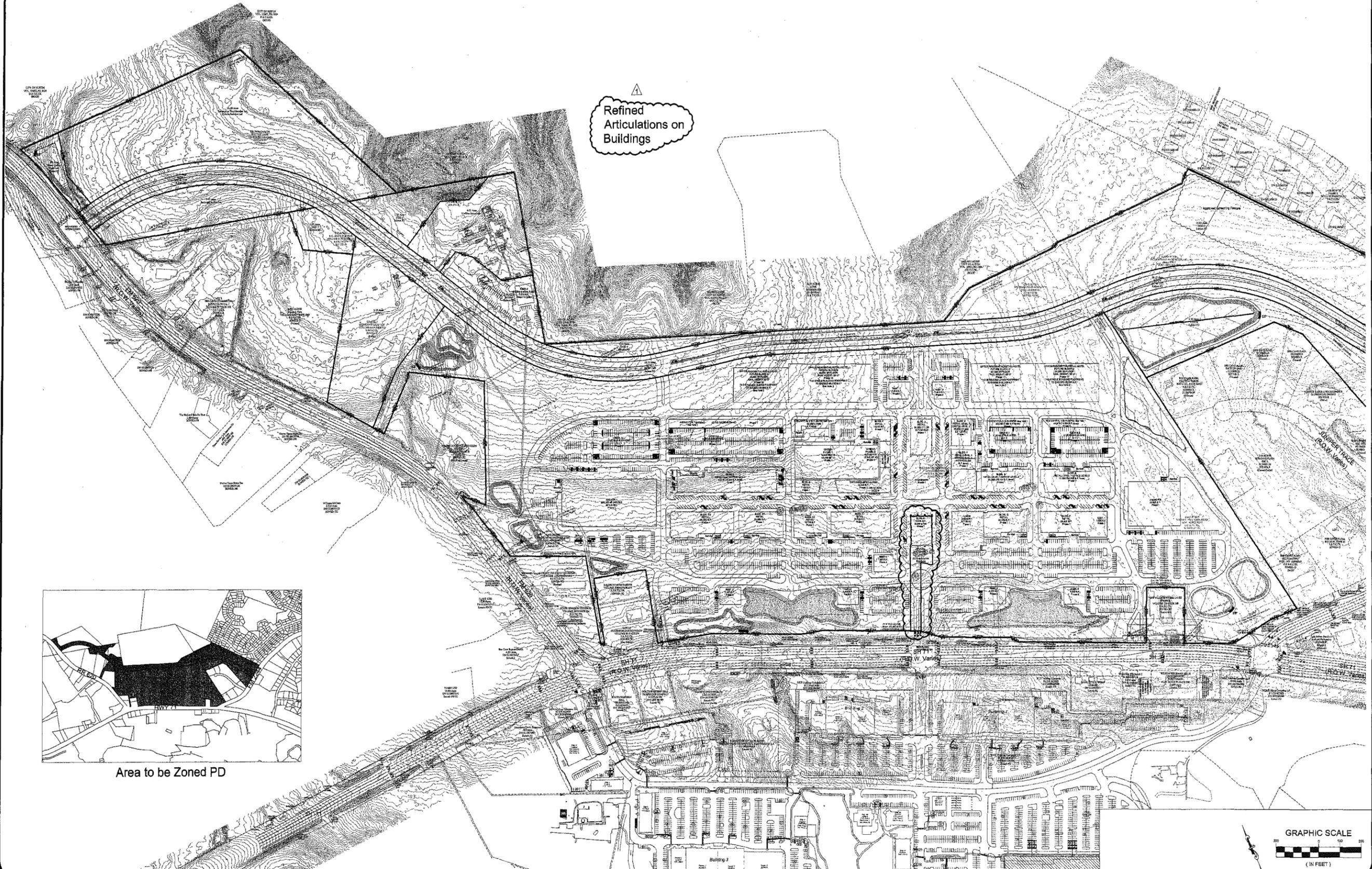
Note 2: Residential use for Future Blocks A,B,C, & D will not exceed 375 total units density calculated per zoning district area.

All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only

Refined Articulations on Buildings



Area to be Zoned PD



DATE: 2/18/2005
DESIGNED: SJL
DRAWN: DBW
CHECKED: JER
JOB NO.: 0403A

REVISIONS/CORRECTIONS	By	Date	Description
1			Refined Articulation on Buildings
2			Adjusted Village Lot

HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
PROPOSED CONDITIONS
OVERALL 1 OF 2



7800 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TEXAS 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420



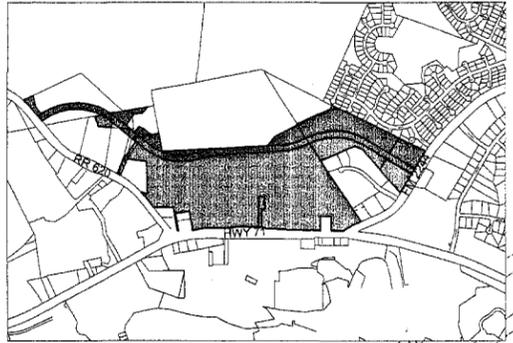
SHEET NUMBER
C3.1

Note 1: Residential use for Residential 1-4 will not exceed 60 Units.

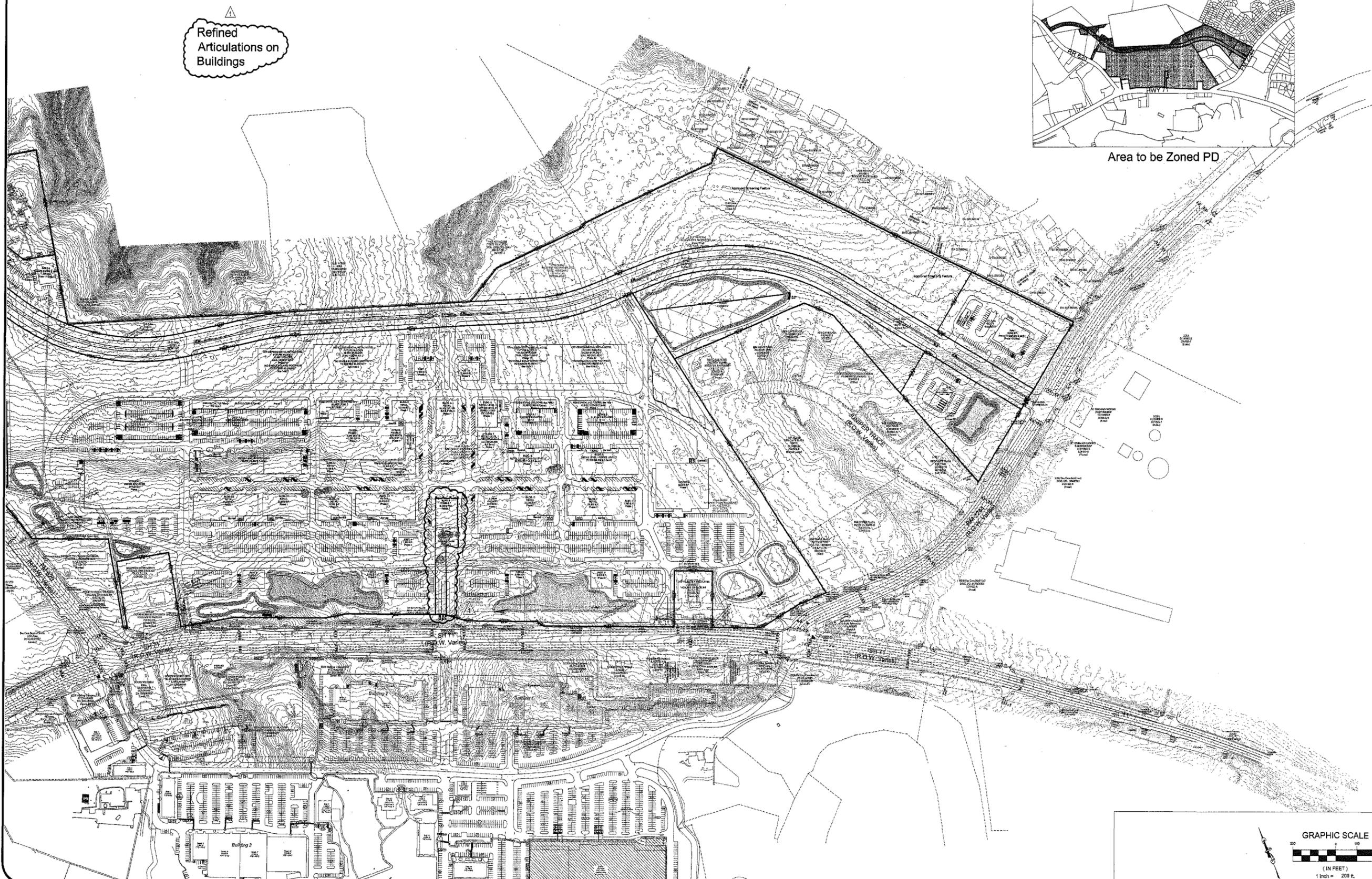
Note 2: Residential use for Future Blocks A,B,C, & D will not exceed 375 total units density calculated per zoning district area.

All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only

Refined
Articulations on
Buildings



Area to be Zoned PD



DATE: 2/18/2005
DESIGNED: [Signature]
DRAWN: [Signature]
CHECKED: [Signature]
JOB NO.: 04034

No.	Description	By	Date
1	Refined Articulation on Buildings	[Signature]	2/18/05

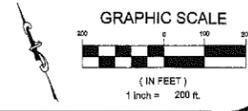
HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
PROPOSED CONDITIONS
OVERALL 2 OF 2



7800 SHOAL CREEK BOULEVARD
AUSTIN, TEXAS 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420

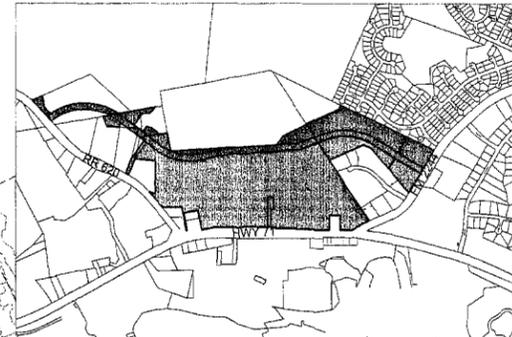
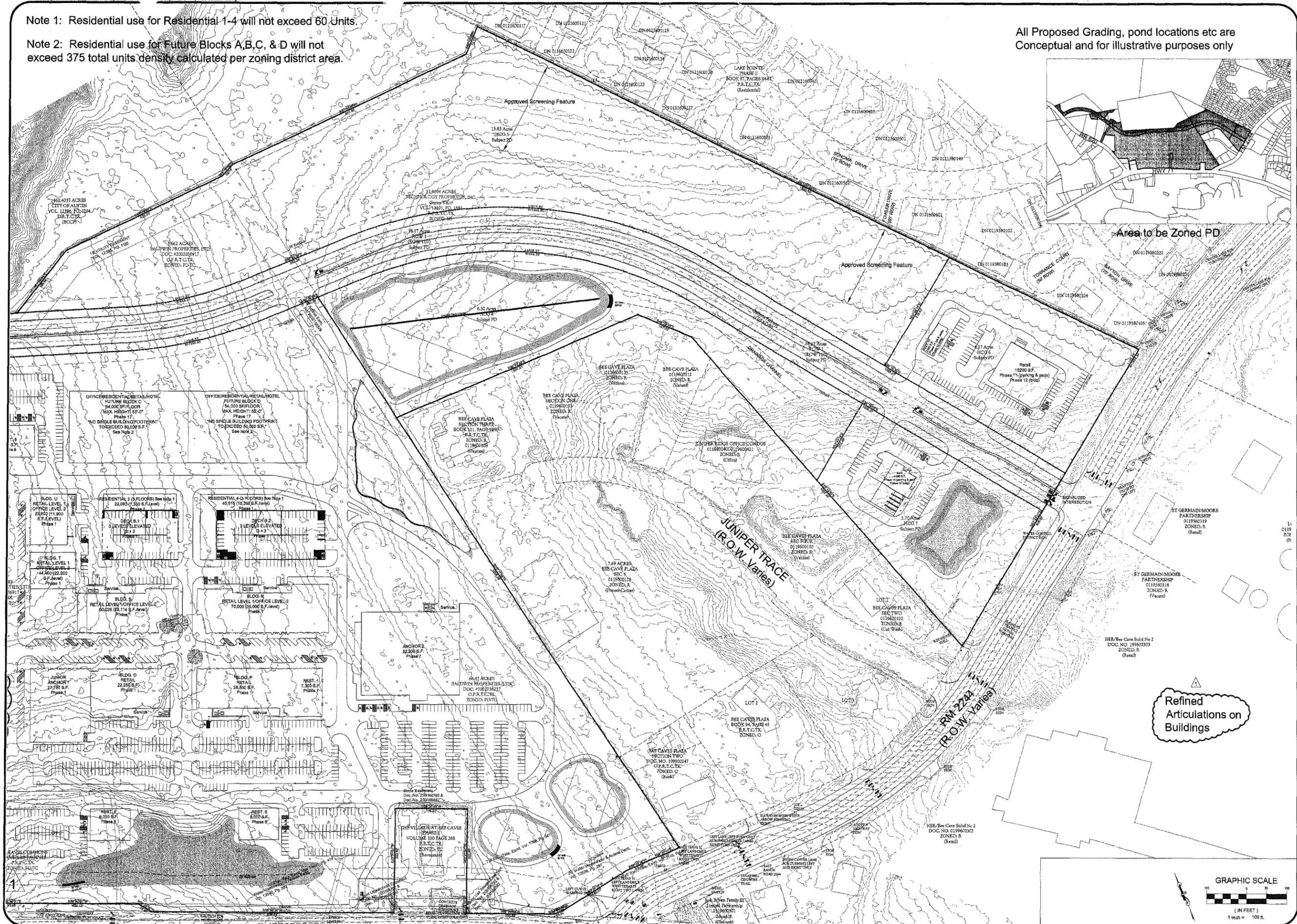
GARRETT-IHNEN
CIVIL ENGINEERS

SHEET NUMBER
C3.2



Note 1: Residential use for Residential-1-4 will not exceed 60 Units.
 Note 2: Residential use for Future Blocks A,B,C, & D will not exceed 375 total units density calculated per zoning district area.

All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only



DATE:	2/18/2005
DESIGNED:	SLI
DRAWN:	CEW
CHECKED:	JCB
JOB NO.:	04034

REVISIONS/CORRECTIONS	
No.	Description
1	Refined Articulation on Buildings
2	Adjusted Village Lot

HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 PROPOSED CONDITIONS
 DETAIL 3 OF 3

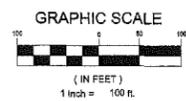


7800 SHOAL CREEK BOULEVARD
 SUITE 200-W
 AUSTIN, TEXAS 78757
 TELEPHONE: (512) 454-2400
 FACSIMILE: (512) 454-2420

GARRETT-IHNEN
 CIVIL ENGINEERS

SHEET NUMBER
C3.5

Refined Articulations on Buildings





EROSION CONTROL SEQUENCE OF CONSTRUCTION

The Erosion Control Plan will be constructed in three phases. The phases will be implemented as necessary based on the progress of construction. The Erosion Control devices will be sized and designed based on the standard design practices as described in publications by LCRA, TCEQ and the City of Austin.

Phase One: Preconstruction Phase.

These erosion controls will be installed prior to any disturbance of soils. Silt fence will be installed along the perimeter of the development and along the Galleria Parkway. Rock Berms will be located in concentrated flow areas. Tree Protection Fencing will be installed around trees or tree clumps to be retained during construction. Stabilized Construction Entrances will be installed to reduce tracking of mud and debris onto the roadways.

Phase Two: Rough Grading Phase

These erosion controls will help to capture runoff from the disturbed soils and from concentrated flow areas. The proposed water quality and detention ponds will be rough cut to serve as Sediment Basins. The basins will capture and detain silt laden runoff and allow the silt to settle out prior to the water being released from the pond. Temporary diversion berms will also be constructed to direct runoff into the ponds. Additional Silt Fence will be added as necessary as construction progresses.

Phase Three: Fine Grading Phase

Erosion Controls for fine grading will be constructed after the storm sewer and inlets have been installed. Inlet Traps and additional silt fence will be installed around inlets where appropriate to capture runoff and allow the silt to settle out prior to its entering the storm sewer system. Soil Retention Blankets with Hydromulch will be used for revegetation of slopes and disturbed areas as construction is completed in that area.

The Erosion Control Plan is provided as a guide to the contractor. It is an evolving plan based on construction conditions. The purpose of the erosion controls is to prevent or reduce the release of silt and debris from the project site to the surrounding areas. Additional measures will be considered if the installed erosion control is not effective. The Contractor will inspect the roadway for tracking at the end of each work day. Any construction debris will be cleaned off immediately.

LEGEND

SECTION
TOTAL
ACRES

EXISTING
DRAINAGE

DATE:	1/26/2005
DESIGNED:	BLI
DRAWN:	CEW
CHECKED:	JGR
JOB NO.:	04034

REVISIONS/CORRECTIONS	
No.	Description

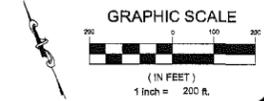
HILL COUNTRY GALLERIA
VILLAGE OF BEE DAVE
TRAVIS COUNTY, TX
EROSION/SEDIMENTATION CONTROL
OVERALL 1 OF 2

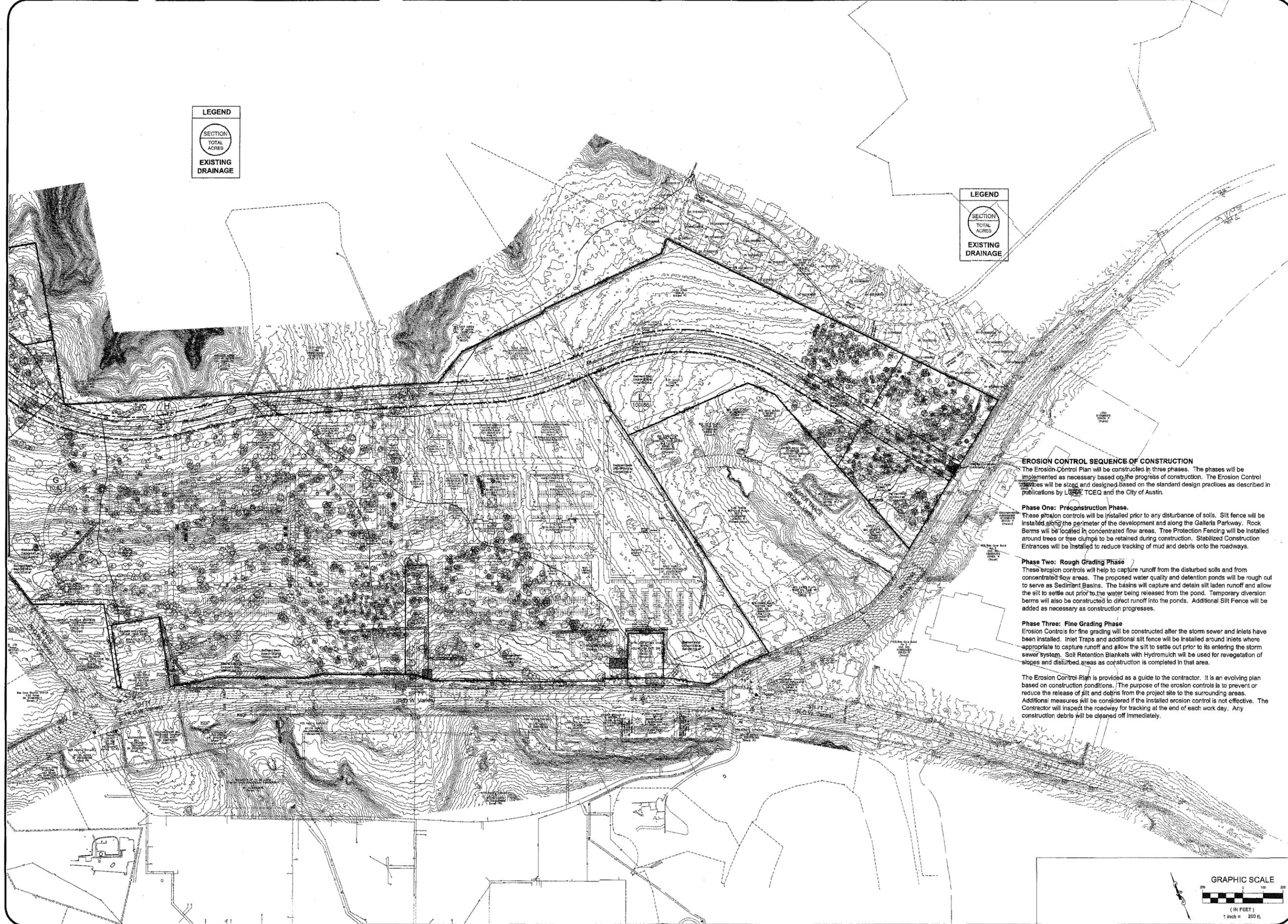


7800 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TEXAS 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420



SHEET NUMBER
C4.1





LEGEND
 SECTION
 TOTAL ACRES
 EXISTING DRAINAGE

LEGEND
 SECTION
 TOTAL ACRES
 EXISTING DRAINAGE

EROSION CONTROL SEQUENCE OF CONSTRUCTION
 The Erosion Control Plan will be constructed in three phases. The phases will be implemented as necessary based on the progress of construction. The Erosion Control Plan will be sized and designed based on the standard design practices as described in publications by L. B. King, TCEQ and the City of Austin.

Phase One: Preconstruction Phase.
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DATE: 1/26/2005
 DESIGNED: ELL
 DRAWN: GBW
 CHECKED: JKR
 JOB NO.: 04034

REVISIONS/CORRECTIONS	DATE	BY	DESCRIPTION

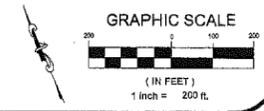
HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 EROSION/SEDIMENTATION CONTROL
 OVERALL 2 OF 2



7800 SHOAL CREEK BOULEVARD
 SUITE 200-W
 AUSTIN, TEXAS 78757-1400
 TELEPHONE: (512) 454-2420
 FACSIMILE: (512) 454-2420



SHEET NUMBER
C4.2



CITY OF AUSTIN
VOL. 12857, PG.
0104
D.R.T.C. TX.
(BCCP)



DATE: 1/26/2005
DESIGNED: _____
DRAWN: _____
CHECKED: _____
JOB NO.: 04034

REVISIONS/CORRECTIONS

No.	Description	Approver

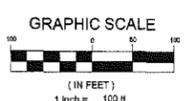
HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
EROSION/SEDIMENTATION CONTROL
DETAIL 1 OF 3



7800 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TEXAS 78757
TEL: (512) 454-2420
FAX: (512) 454-2420



SHEET NUMBER
C4.3



Sediment Basin
DA(1) 153-28 to
Vol=18,340 cu ft

Sediment Basin
DA(1) 153-28 to
Vol=15,166 cu ft

Williams McGraw
3.575 Acres
DN 0118870115
ZONED: TC

Native Texas Stone Etoi
DN 0118870108
ZONED: NS

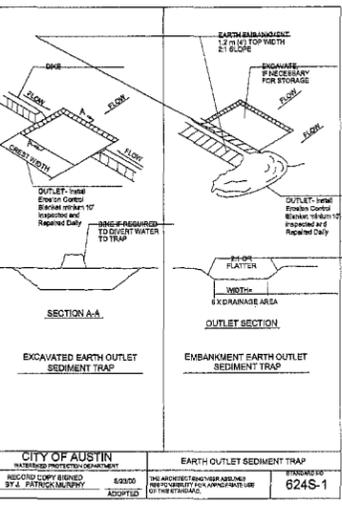
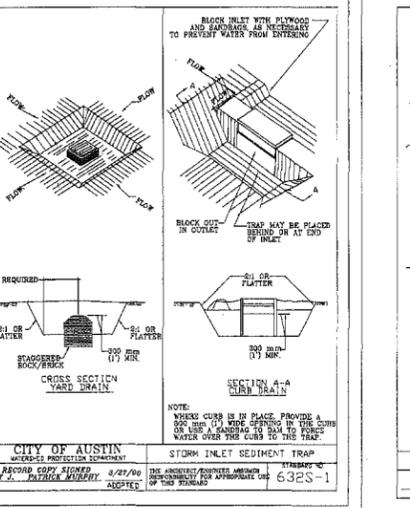
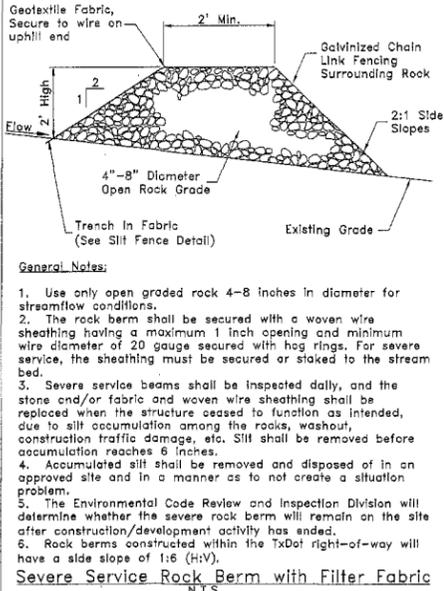
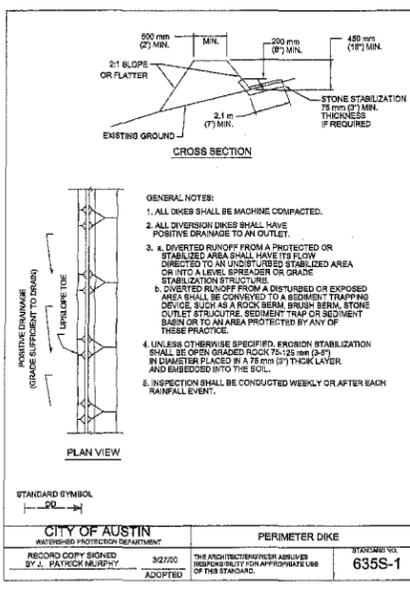
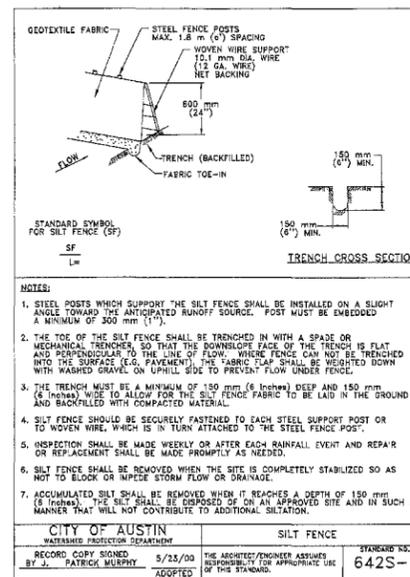
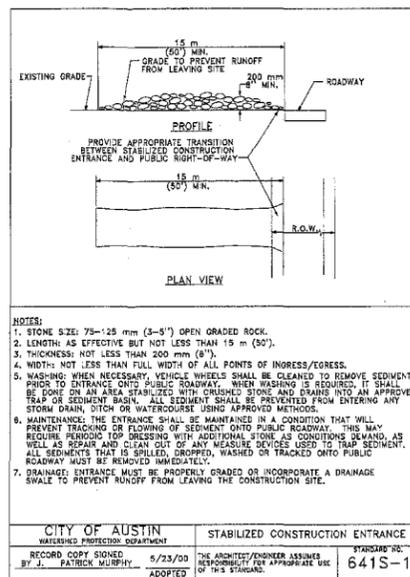
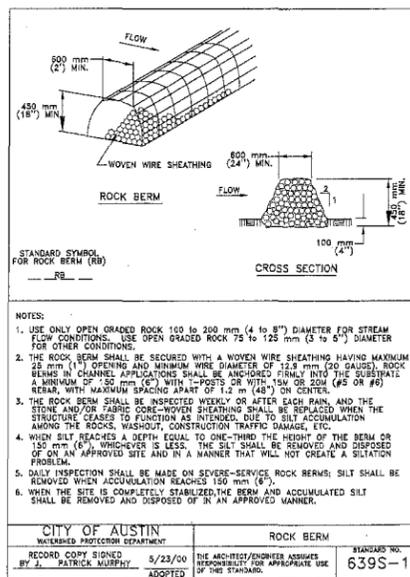
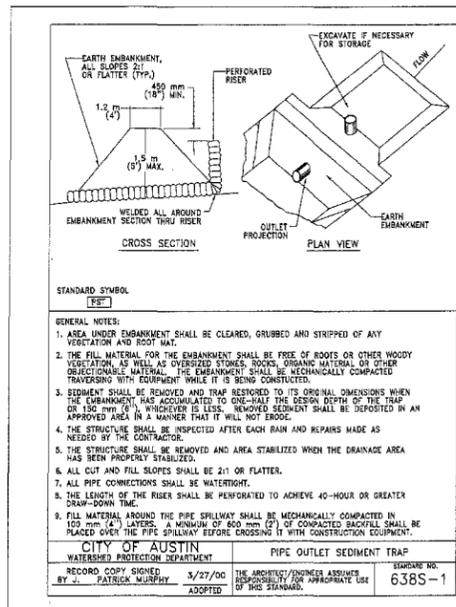
The Richard Gebulin Trust
2.884 Acres
ZONED: NS

DN 0118870128
ZONED: NS

DN 0118870137
ZONED: NS

DN 0118870142
ZONED: NS

DN 0118870152
ZONED: NS



DATE: 1/26/2005
 DESIGNED: [blank]
 DRAWN: [blank]
 CHECKED: [blank]
 JOB NO.: 04034

Revision No.	Description

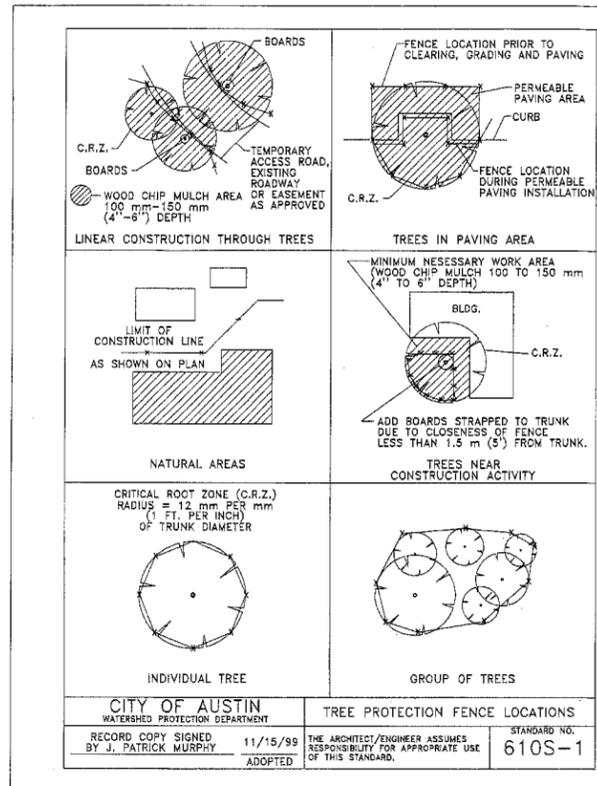
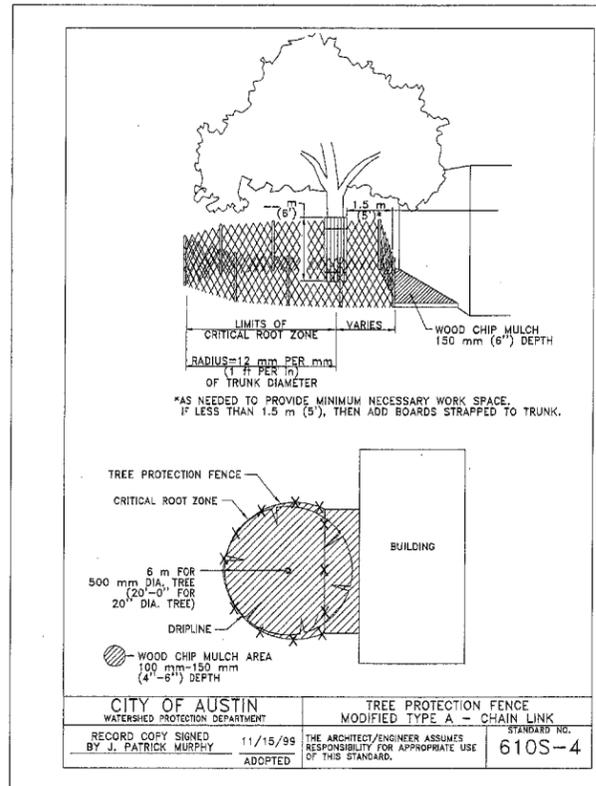
HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 EROSION/SEDIMENTATION CONTROL
 E&S DETAILS



7800 SHOAL CREEK BOULEVARD
 SUITE 200-W
 AUSTIN, TEXAS 78757
 TELEPHONE: (512) 454-2400
 FACSIMILE: (512) 454-2420

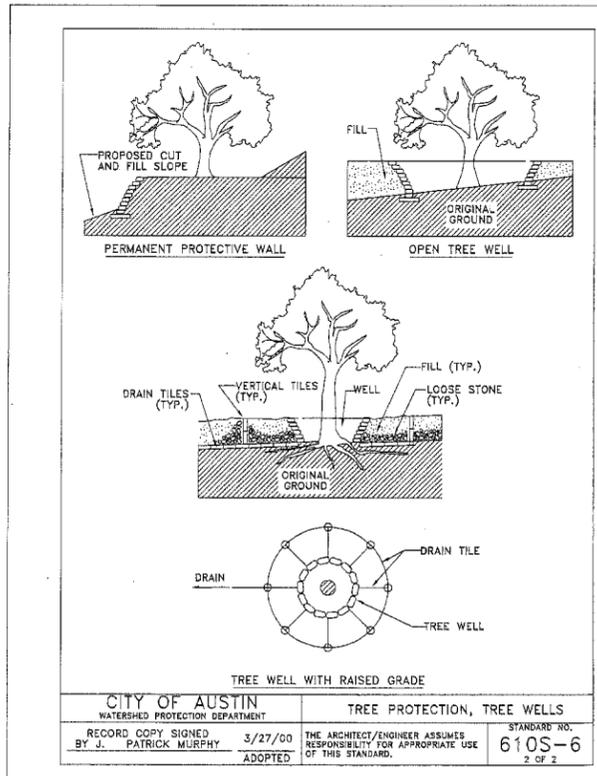
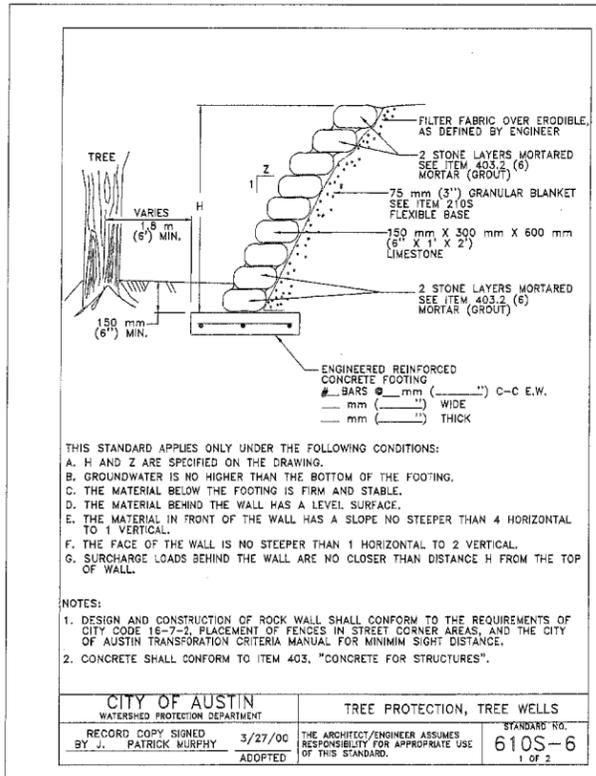
GARRETT-IHNEN
 CIVIL ENGINEERS

SHEET NUMBER
 C4.6



Village of Bee Cave Standard Notes for Tree and Natural Area Protection

- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing.
- Protective fences shall be erected according to City of Austin standards for tree protection.
- Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
- Erosion and sedimentation control barriers shall be installed or maintained in a manner that does not result in soil build-up within tree drip lines.
- Protective fences shall surround the trees or group of trees, and will be located at the outermost limit of branches (drip line), for natural areas, protective fences shall follow the limit of construction line, in order to prevent the following:
 - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
 - Root Zone disturbances due to grade changes (greater than six inches (6) cut or fill), or trenching not reviewed by the contract arborist and authorized by the Village of Bee Cave Building Official.
 - Wounds to exposed roots, trunk or limbs by mechanical equipment;
 - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
- Exceptions to installing fences at tree drip lines may be permitted in the following cases:
 - Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, erect the fence approximately two (2) feet to four (4) feet beyond the area disturbed;
 - Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately prior to paving installation to minimize root damage).
 - Where trees are close to proposed buildings, erect the fence to allow six (6) feet to ten (10) feet of work space between the fence and the building;
 - Where there are severe space constraints due to tract size, or other special requirements, contact the Village of Bee Cave Building Official at 263-2151 and the contract arborist to discuss alternatives.
 - For the protection of natural areas, no exceptions to installing fences at the limit of construction line will be permitted.
- Where any of the above exceptions result in a fence being closer than four (4) feet to a tree trunk, protect the trunk with strapped-on planking to a height of eight (8) feet or to the limits of the lower branches in addition to the reduced fencing provided.
- Trees approved for removal shall be removed in a manner that does not impact trees to be preserved.
- Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with a good quality top soil as soon as possible. If exposed root areas are not backfilled within two (2) days, cover them with organic material in a manner that reduces soil temperature and minimizes water loss due to evaporation.
- Any trenching required for the installation of landscape irrigation shall be placed as far from existing tree trunks as possible.
- No landscape topsoil dressing greater than four (4) inches shall be permitted within the drip line of the trees. No soil is permitted on the root flare of any tree.
- Pruning to provide clearance for structures, vehicular traffic and equipment shall take place before damage occurs (ripping of branches, etc.).
- All finished pruning shall be done according to recognized, approved standards of the industry (reference the national Arborist Association Pruning Standards for Shade Trees) and the guidelines of Ordinance 03-04-22-C as it relates to prevention of Oak Wilt in the Village of Bee Caves and specifically Sec. 8.407 through Sec. 8.411.
- Deviations from the above notes may be considered ordinance violations if there is substantial non-compliance or if a tree sustains damage as a result.



DATE: 1/26/2005
DESIGNED: SLJ
DRAWN: DBM
CHECKED: JKB
JOB NO.: 04034

REVISIONS/CORRECTIONS	DATE	BY	DESCRIPTION

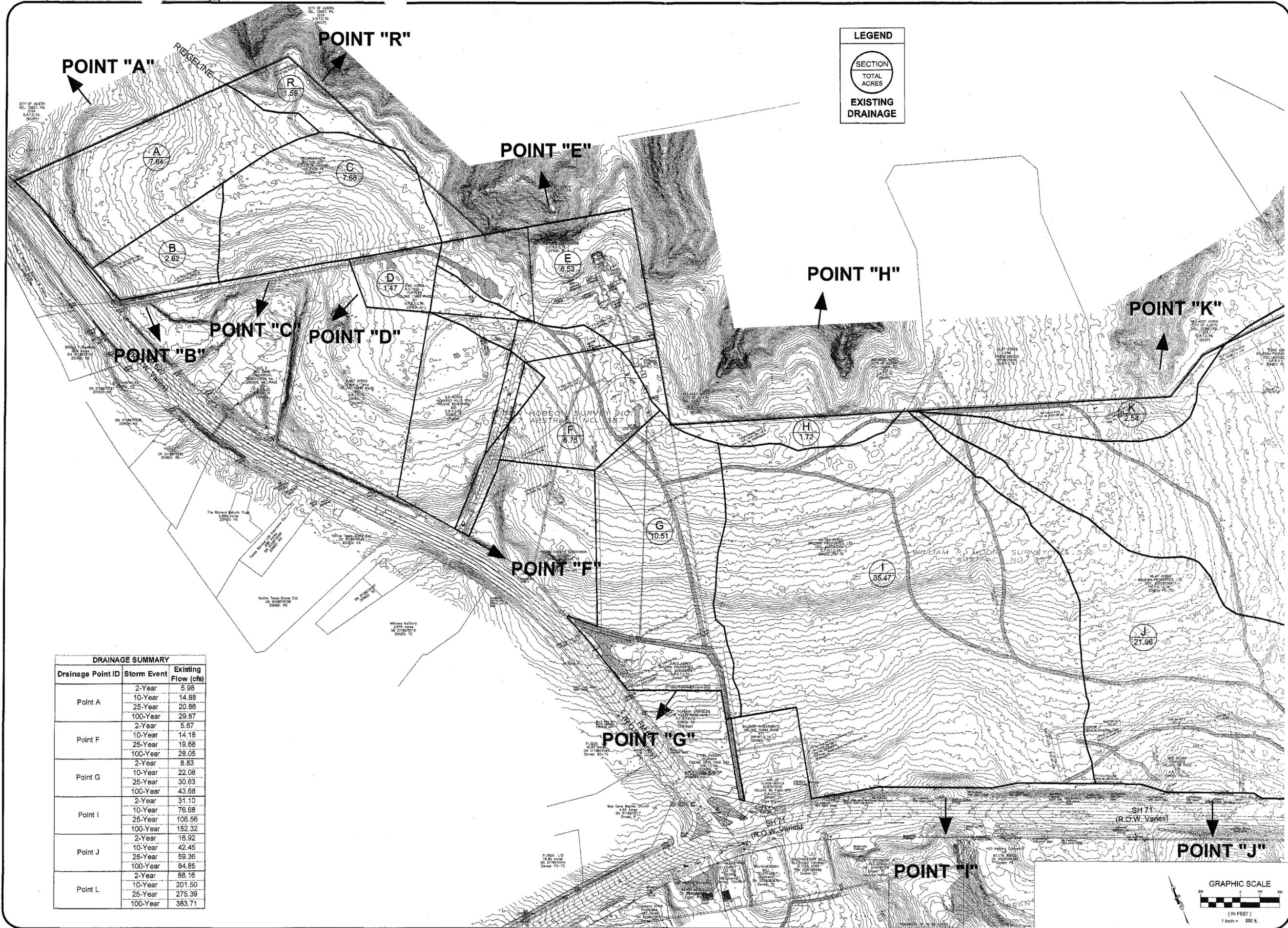
HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
EROSION/SEDIMENTATION CONTROL
TREE PROTECTION DETAILS



7800 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TEXAS 78757
TELEPHONE: (512) 544-4400
FACSIMILE: (512) 454-2420

GARRETT-IHNEN
CIVIL ENGINEERS

SHEET NUMBER
C4.7



LEGEND

SECTION
TOTAL ACRES
EXISTING DRAINAGE

DRAINAGE SUMMARY

Drainage Point ID	Storm Event	Existing Flow (cfs)
Point A	2-Year	5.98
	10-Year	14.88
	25-Year	20.86
	100-Year	29.87
Point F	2-Year	5.67
	10-Year	14.18
	25-Year	19.68
	100-Year	28.05
Point G	2-Year	8.83
	10-Year	22.08
	25-Year	30.63
	100-Year	43.68
Point I	2-Year	31.10
	10-Year	76.68
	25-Year	106.66
	100-Year	152.32
Point J	2-Year	16.92
	10-Year	42.45
	25-Year	59.36
	100-Year	84.85
Point L	2-Year	88.16
	10-Year	201.50
	25-Year	275.39
	100-Year	383.71

DATE: 1/26/2005
 DESIGNED: SLU
 DRAWN: GBS
 CHECKED: JKP
 JOB NO.: 04005.1

REVISIONS/CORRECTIONS

No.	Description	Date

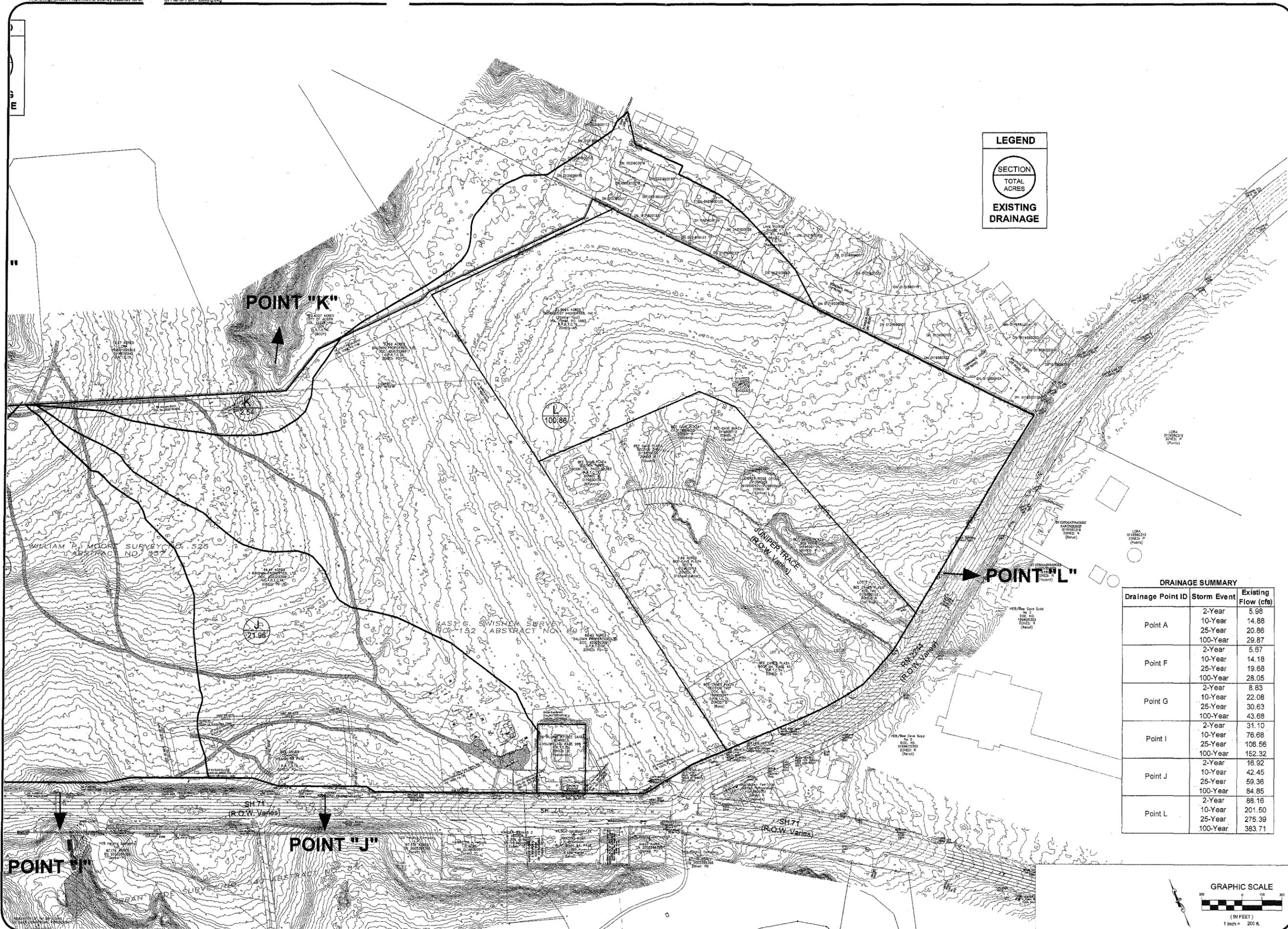
HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 EXISTING DRAINAGE AREAS
 SHEET 1 OF 2



7800 SHOAL CREEK BOULEVARD
 SUITE 200-W
 AUSTIN, TX 78757
 TELEPHONE: (512) 454-2400
 FACSIMILE: (512) 454-2420

GARRETT-IHNEN
 CIVIL ENGINEERS

SHEET NUMBER
C5.1



LEGEND

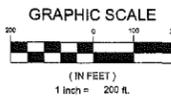
SECTION

TOTAL ACRES

EXISTING DRAINAGE

DRAINAGE SUMMARY

Drainage Point ID	Storm Event	Existing Flow (cfs)
Point A	2-Year	5.98
	10-Year	14.88
	25-Year	20.86
	100-Year	29.87
Point F	2-Year	5.67
	10-Year	14.18
	25-Year	19.68
	100-Year	28.05
Point G	2-Year	8.83
	10-Year	22.08
	25-Year	30.63
	100-Year	43.68
Point I	2-Year	31.10
	10-Year	76.68
	25-Year	106.56
	100-Year	152.32
Point J	2-Year	16.92
	10-Year	42.45
	25-Year	59.36
	100-Year	84.85
Point L	2-Year	88.16
	10-Year	201.50
	25-Year	275.39
	100-Year	383.71



DATE: 1/26/2005
 DESIGNED: BLU
 DRAWN: GRW
 CHECKED: JKR
 JOB NO.: 04005.1

REVISIONS/CORRECTIONS

No.	Date	Description

HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 EXISTING DRAINAGE AREAS
 SHEET 2 OF 2



7800 SHOAL CREEK BOULEVARD
 SUITE 200-W
 AUSTIN, TEXAS 78757
 TEL: (512) 454-4400
 FACSIMILE: (512) 454-2420

GARRETT-IHNEN
 CIVIL ENGINEERS

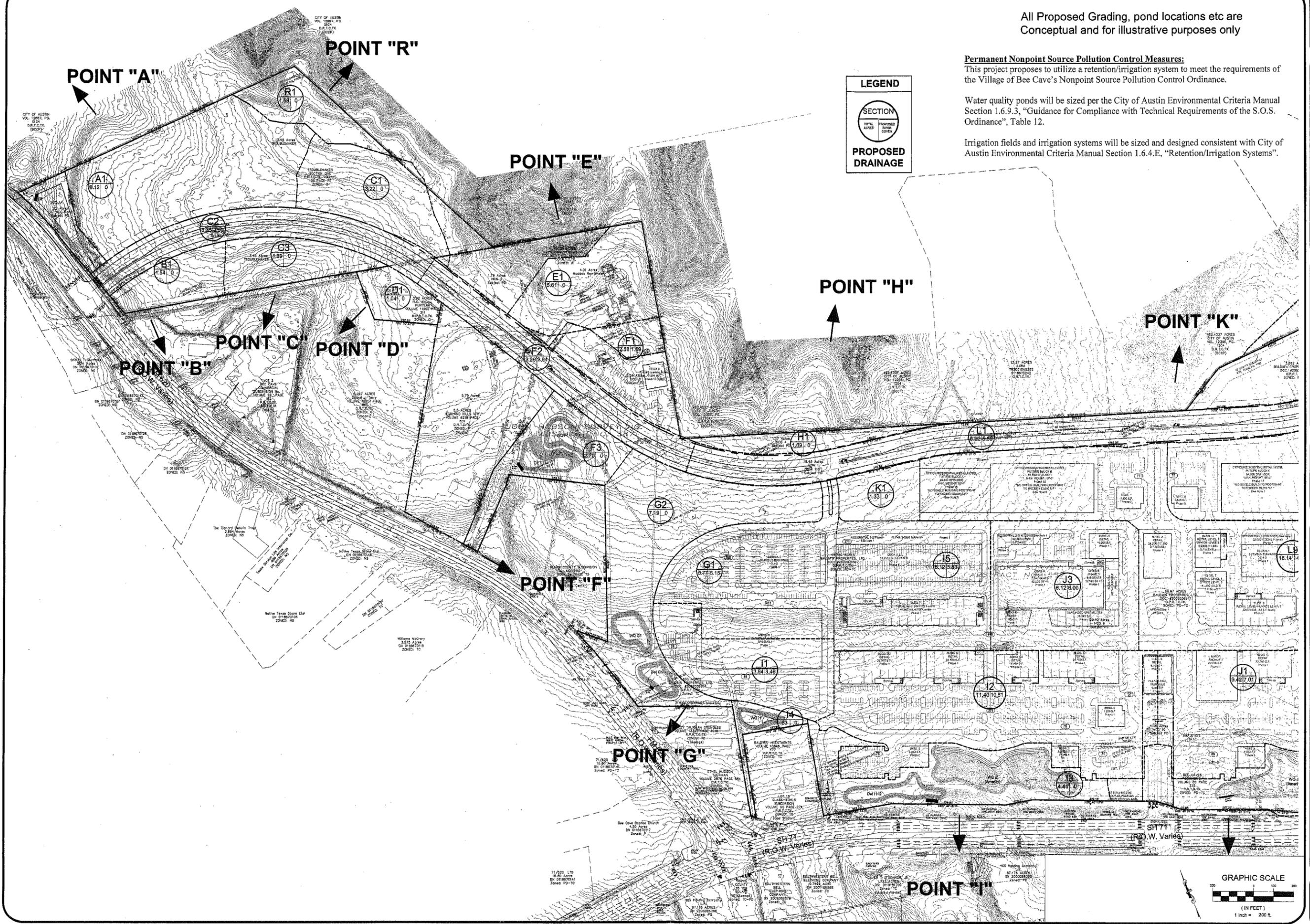
SHEET NUMBER
C5.2

All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only

Permanent Nonpoint Source Pollution Control Measures:
 This project proposes to utilize a retention/irrigation system to meet the requirements of the Village of Bee Cave's Nonpoint Source Pollution Control Ordinance.

Water quality ponds will be sized per the City of Austin Environmental Criteria Manual Section 1.6.9.3, "Guidance for Compliance with Technical Requirements of the S.O.S. Ordinance", Table 12.

Irrigation fields and irrigation systems will be sized and designed consistent with City of Austin Environmental Criteria Manual Section 1.6.4.E, "Retention/Irrigation Systems".



LEGEND

SECTION

TOTAL ACRES
PROPOSED ACRES COVERED

PROPOSED DRAINAGE

DATE: 1/26/2005
 DESIGNED: SJI
 DRAWN: CBB
 CHECKED: JKR
 JOB NO.: 04005.1

REVISIONS/CORRECTIONS

No.	Description	Appr'd	Date

HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 PROPOSED DRAINAGE AREAS
 SHEET 1 OF 2



7800 SHAD CREEK BOULEVARD
 AUSTIN, TEXAS 78757
 TELEPHONE: (512) 454-2400
 FACSIMILE: (512) 454-2420

GARRETT-IHNEN
 CIVIL ENGINEERS

SHEET NUMBER
C5.3

All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only

Permanent Nonpoint Source Pollution Control Measures:

This project proposes to utilize a retention/irrigation system to meet the requirements of the Village of Bee Cave's Nonpoint Source Pollution Control Ordinance.

Water quality ponds will be sized per the City of Austin Environmental Criteria Manual Section 1.6.9.3, "Guidance for Compliance with Technical Requirements of the S.O.S. Ordinance", Table 12.

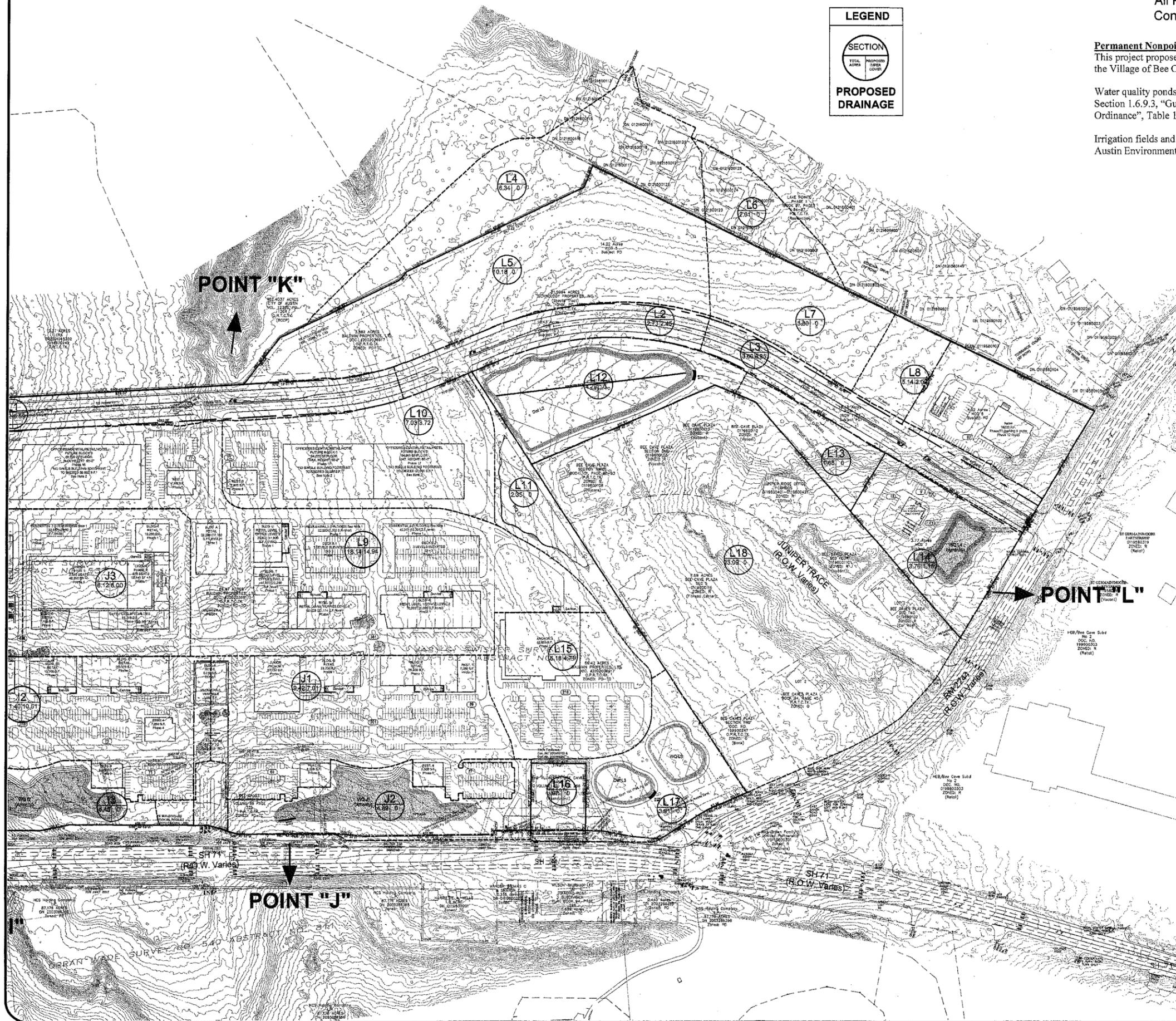
Irrigation fields and irrigation systems will be sized and designed consistent with City of Austin Environmental Criteria Manual Section 1.6.4.E, "Retention/Irrigation Systems".

LEGEND

SECTION

TOTAL ACRES PROPOSED COVER

PROPOSED DRAINAGE



DATE: 1/26/2005

DESIGNED: SLJ

DRAWN: BEW

CHECKED: JKR

JOB NO.: 04005.1

REVISIONS/CORRECTIONS

No.	Description	Author	Date

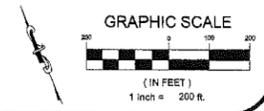
HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
PROPOSED DRAINAGE AREAS
SHEET 2 OF 2

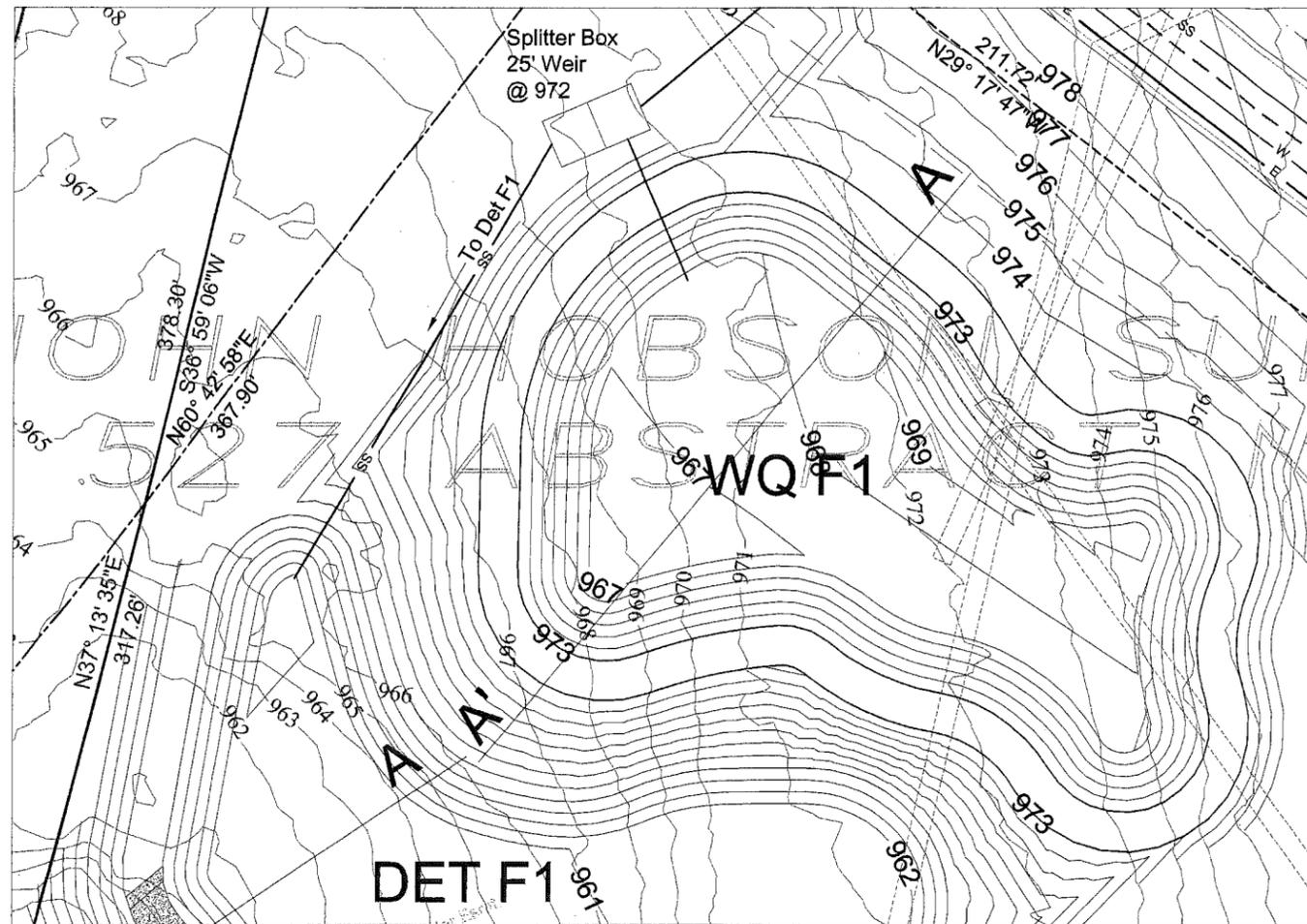


7800 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TX 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420



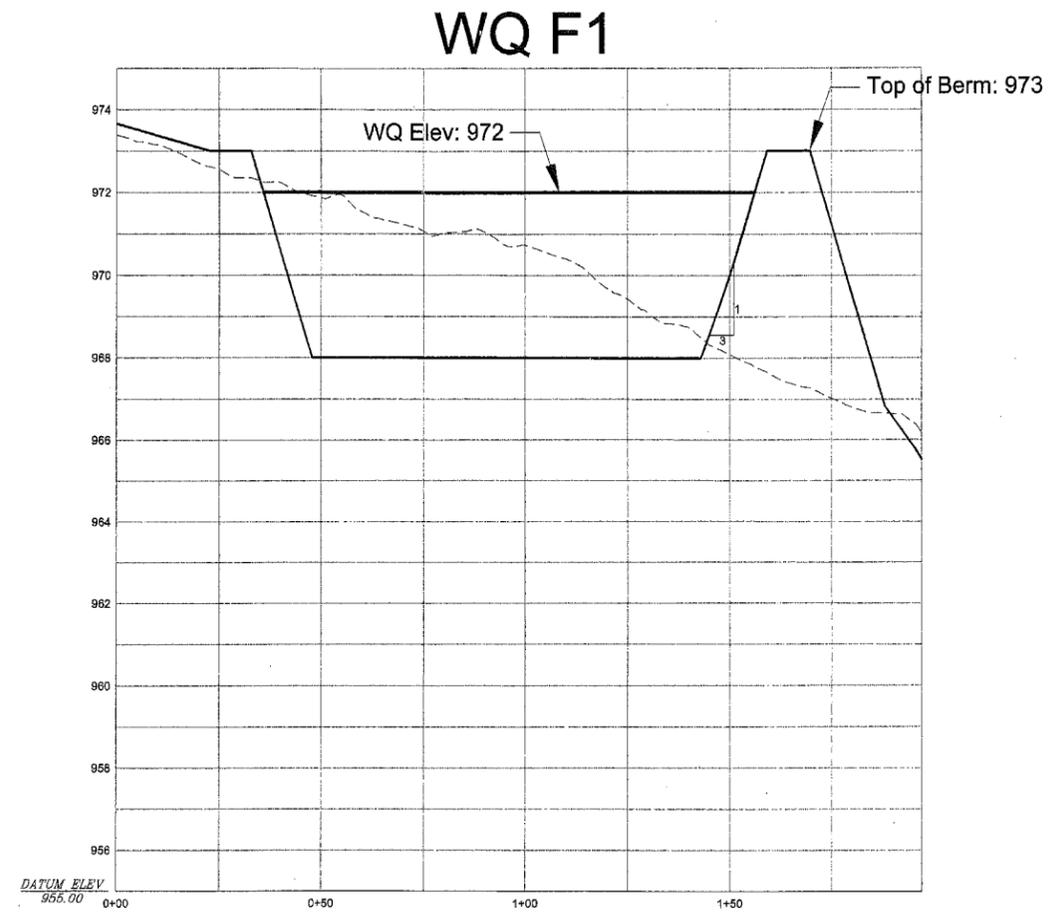
SHEET NUMBER
C5.4



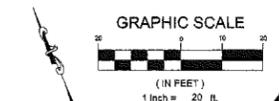


Scale:
1"=20'
Vertical 1"=2'

All Proposed Grading, pond locations etc are
Conceptual and for illustrative purposes only



Scale:
1"=20'
Vertical 1"=2'



DATE: 1/24/2005
DESIGNED: BJI
DRAWN: CGE
CHECKED: JKB
JOB NO: 040347

REVISIONS/CORRECTIONS	Description	Date

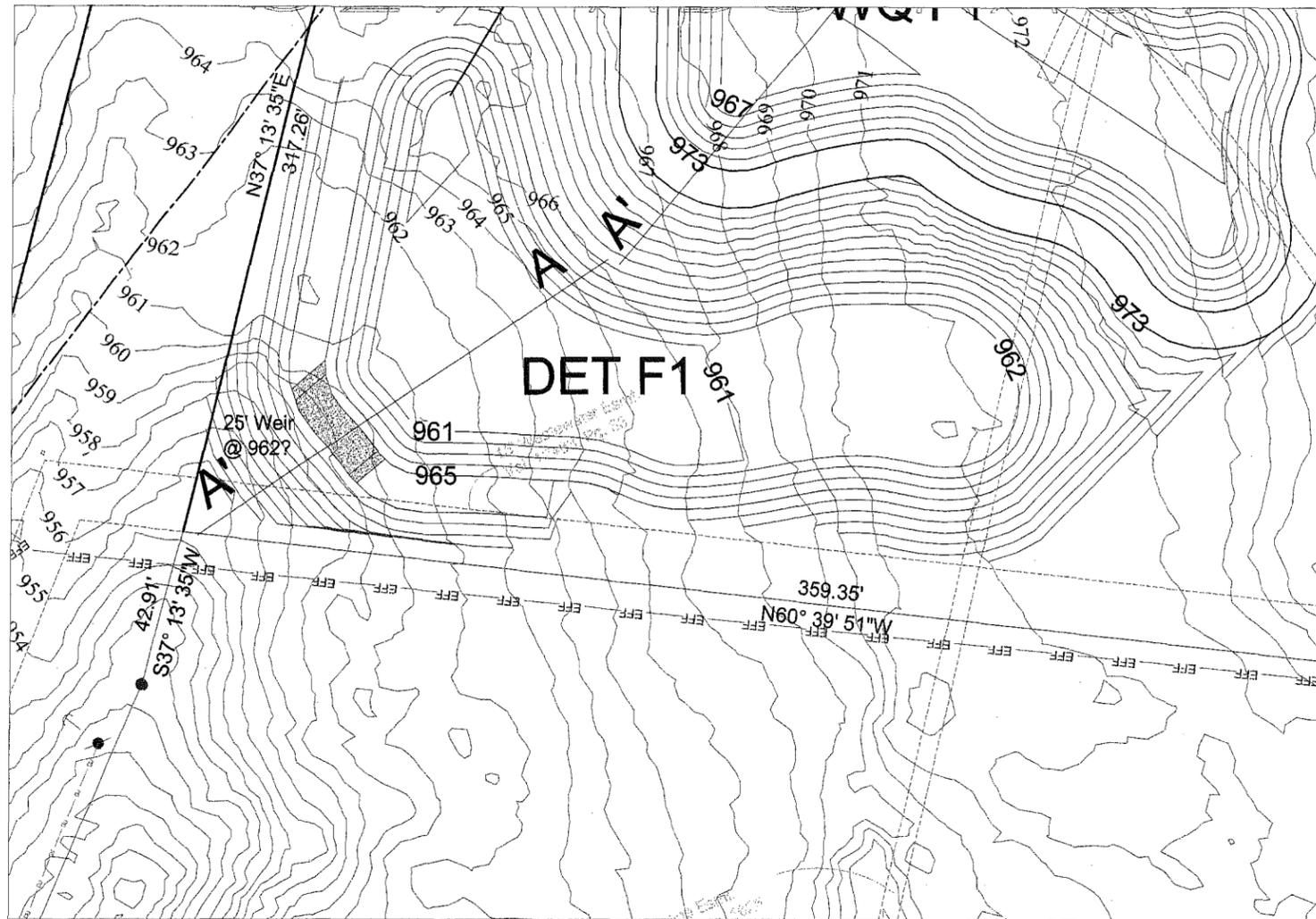
HILL COUNTRY GALLERIA
VILLAGE OF BEE CAYE
TRAVIS COUNTY, TX
WQ POND F1
PLAN AND SECTIONS



7900 SHOAL CREEK BOULEVARD
SUITE 200-78757
AUSTIN, TX 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420

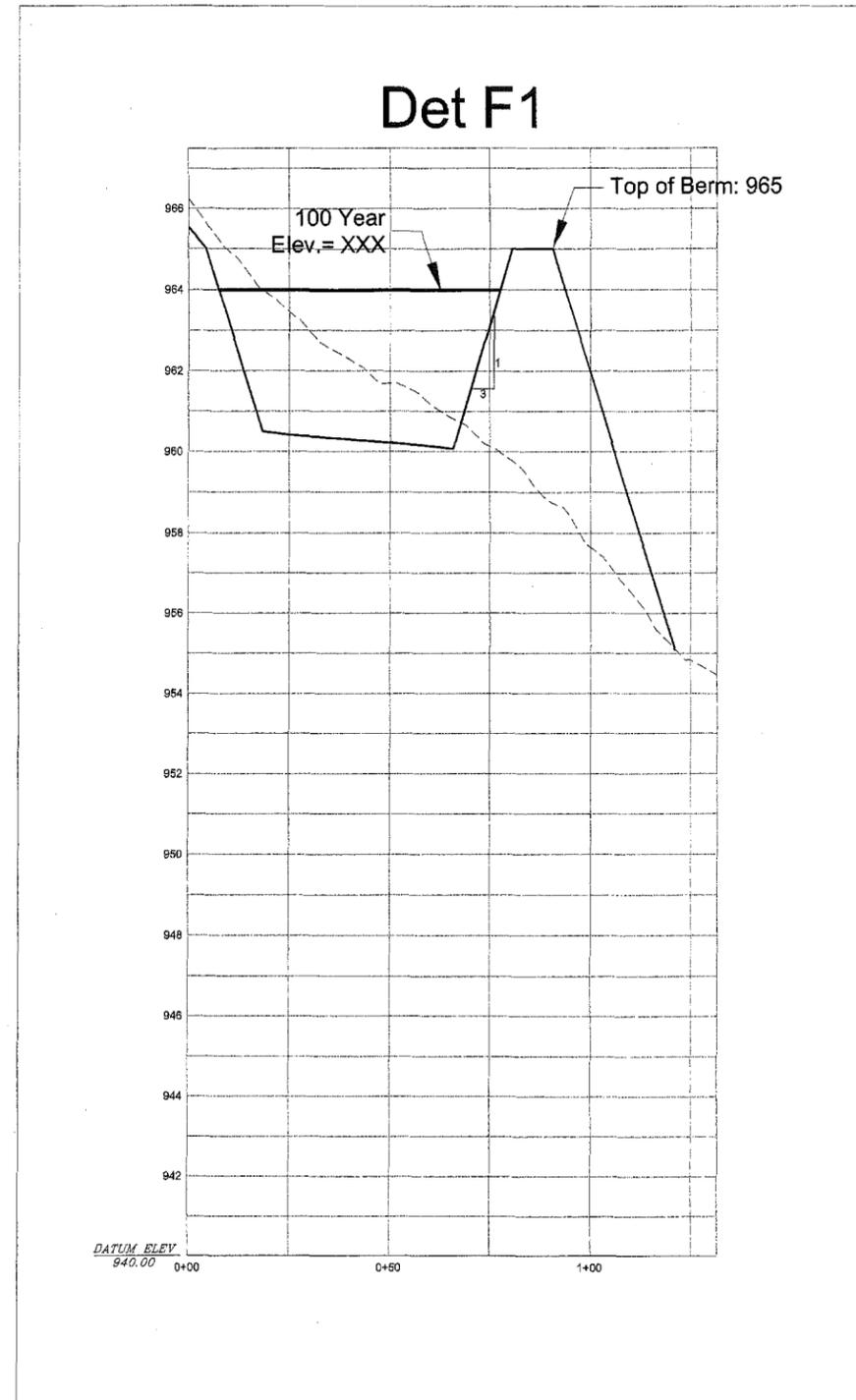
GARRETT-JHNEN
CIVIL ENGINEERS

SHEET NUMBER
C5.6

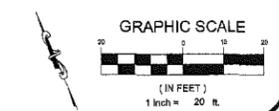


Scale:
 1"=20'
 Vertical 1"=2'

All Proposed Grading, pond locations etc are
 Conceptual and for illustrative purposes only



Scale:
 1"=20'
 Vertical 1"=2'



DATE:	1/24/2005
DESIGNED:	BLU
DRAWN:	CGW
CHECKED:	JKR
JOB NO.:	04034

REVISIONS/CORRECTIONS	DATE	BY	DESCRIPTION

HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 DET POND F1
 PLAN AND SECTIONS

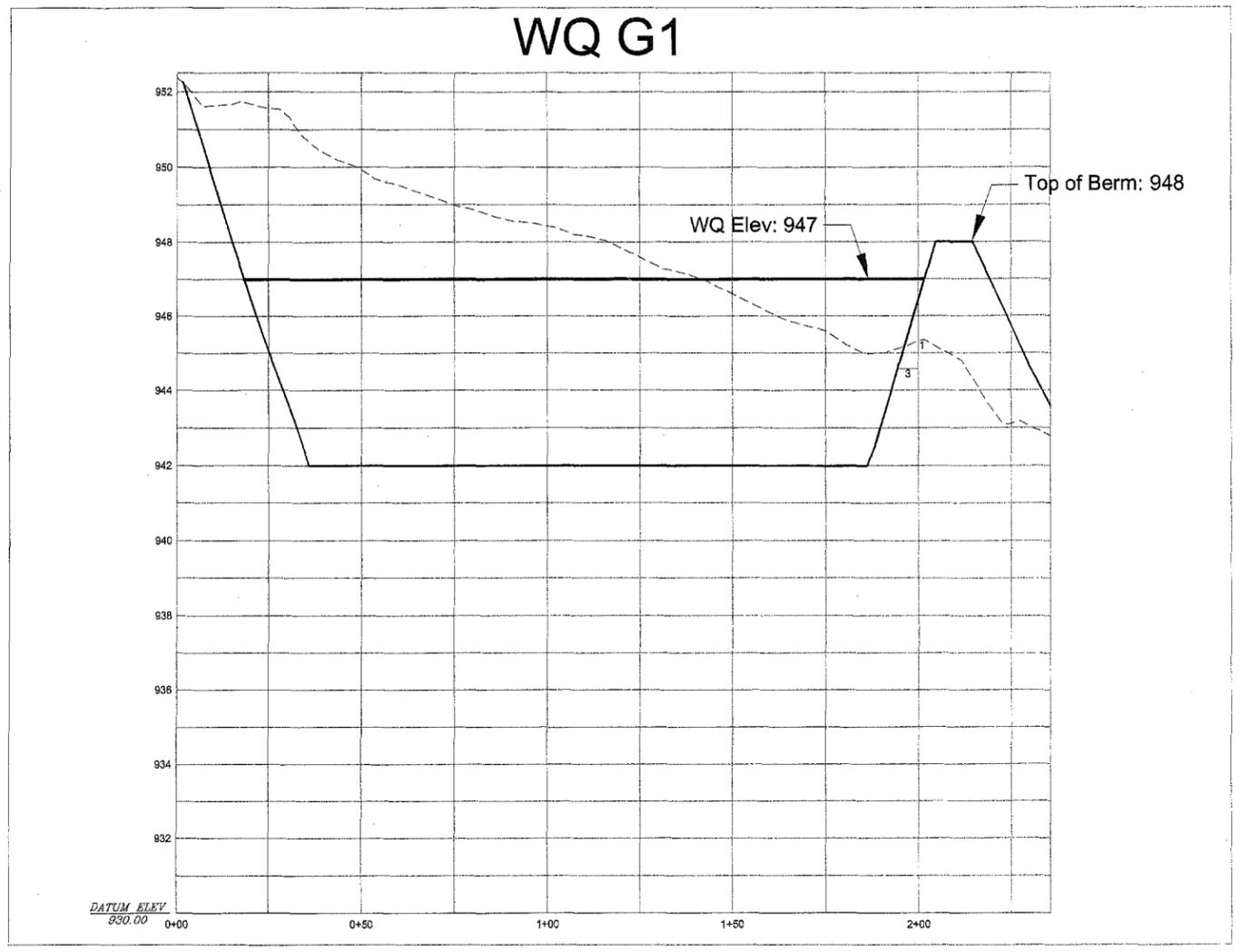
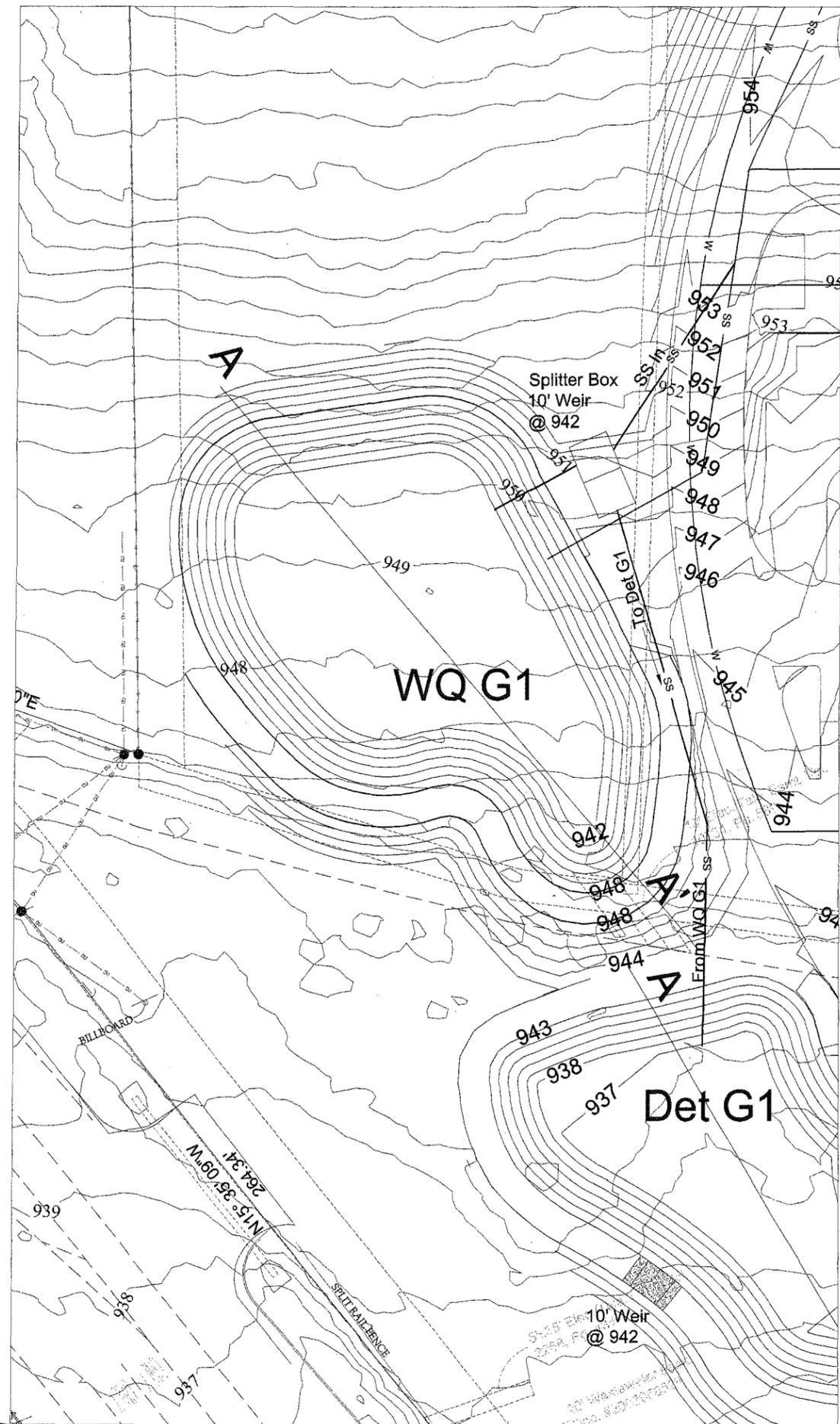


7800 SHOAL CREEK BOULEVARD
 SUITE 200-W
 AUSTIN, TEXAS 78745
 TELEPHONE: (512) 454-2400
 FACSIMILE: (512) 454-2420

GARRETT-IHNEN
 CIVIL ENGINEERS

SHEET NUMBER
C5.7

All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only



DATE:	1/24/2005
DESIGNED:	ELJ
DRAWN:	CBR
CHECKED:	JKR
JOB NO.:	04034

REVISIONS/CORRECTIONS	
No.	Description

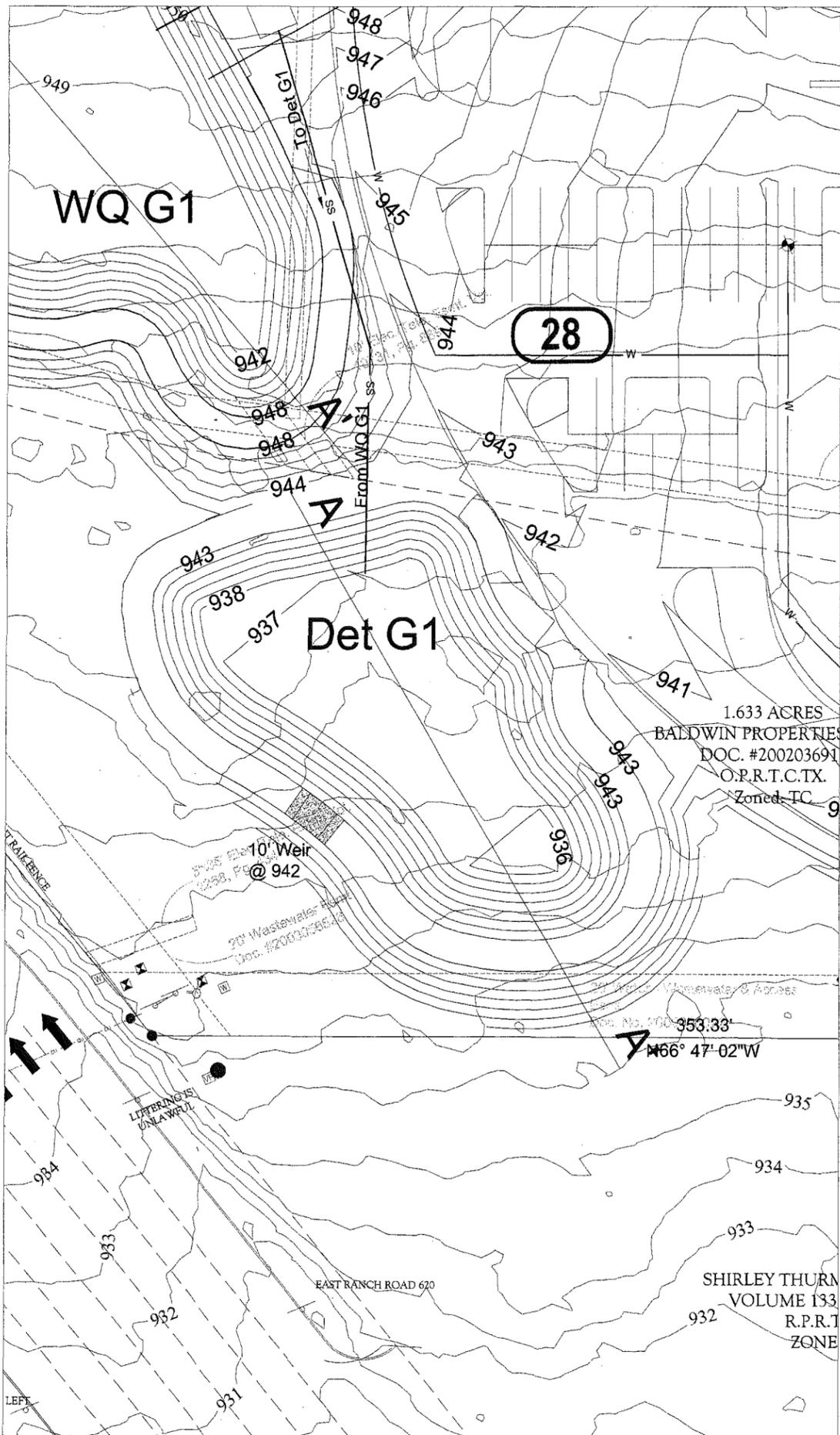
HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
WQ POND G1
PLAN AND SECTIONS



7800 SHOAL CREEK BOULEVARD
SUITE 200 W8757
AUSTIN, TX 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420

GARRETT-IHNEN
CIVIL ENGINEERS

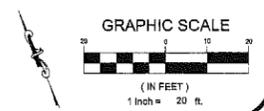
SHEET NUMBER
C5.8



All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only



Scale:
1"=20'
Vertical 1"=2'



DATE: 1/24/2005	DESIGNED: SLL	DRAWN: GBN	CHECKED: JKR	JOB NO: 04034
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REVISIONS/CORRECTIONS	
No.	Description

HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
DET POND G1
PLAN AND SECTIONS

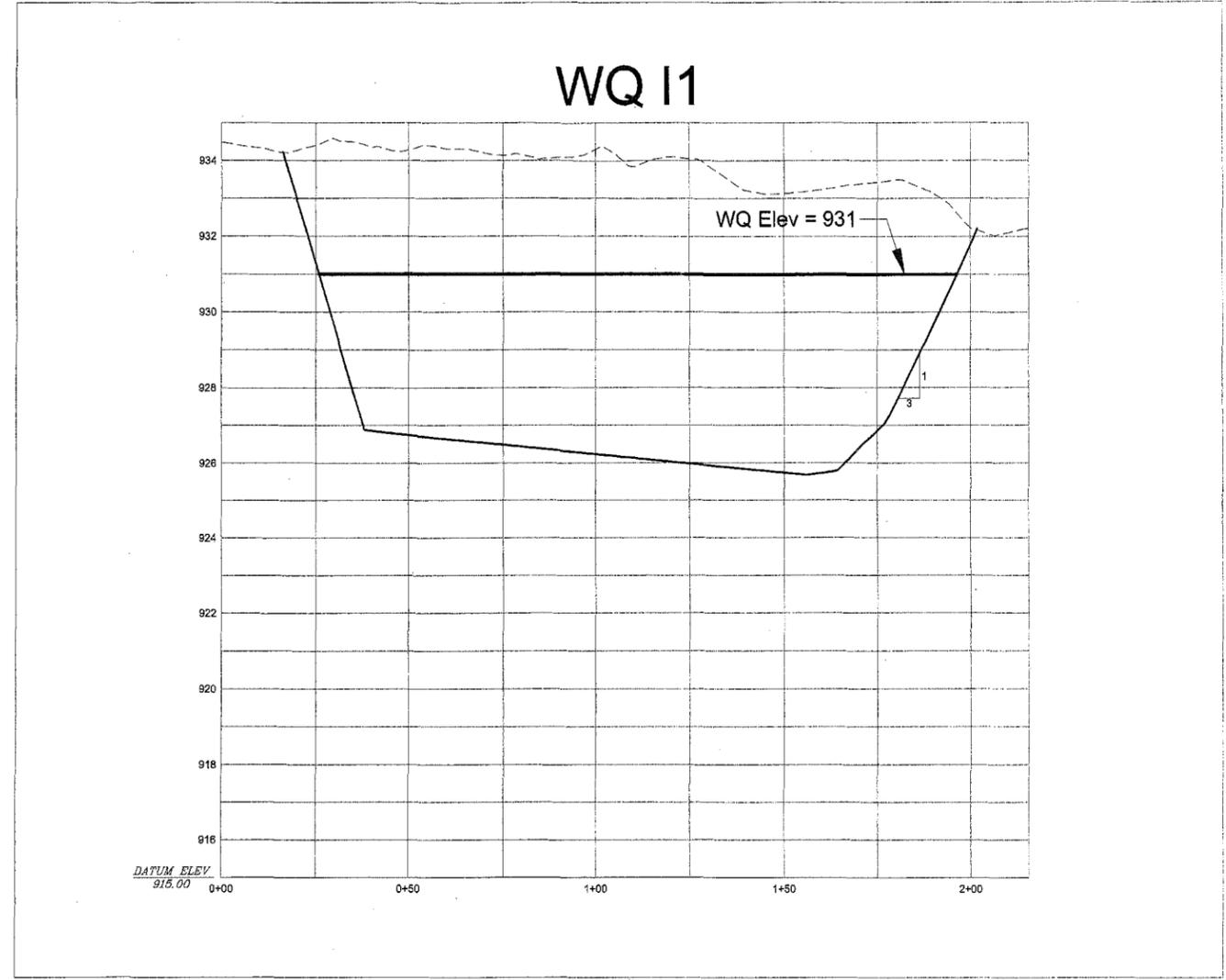
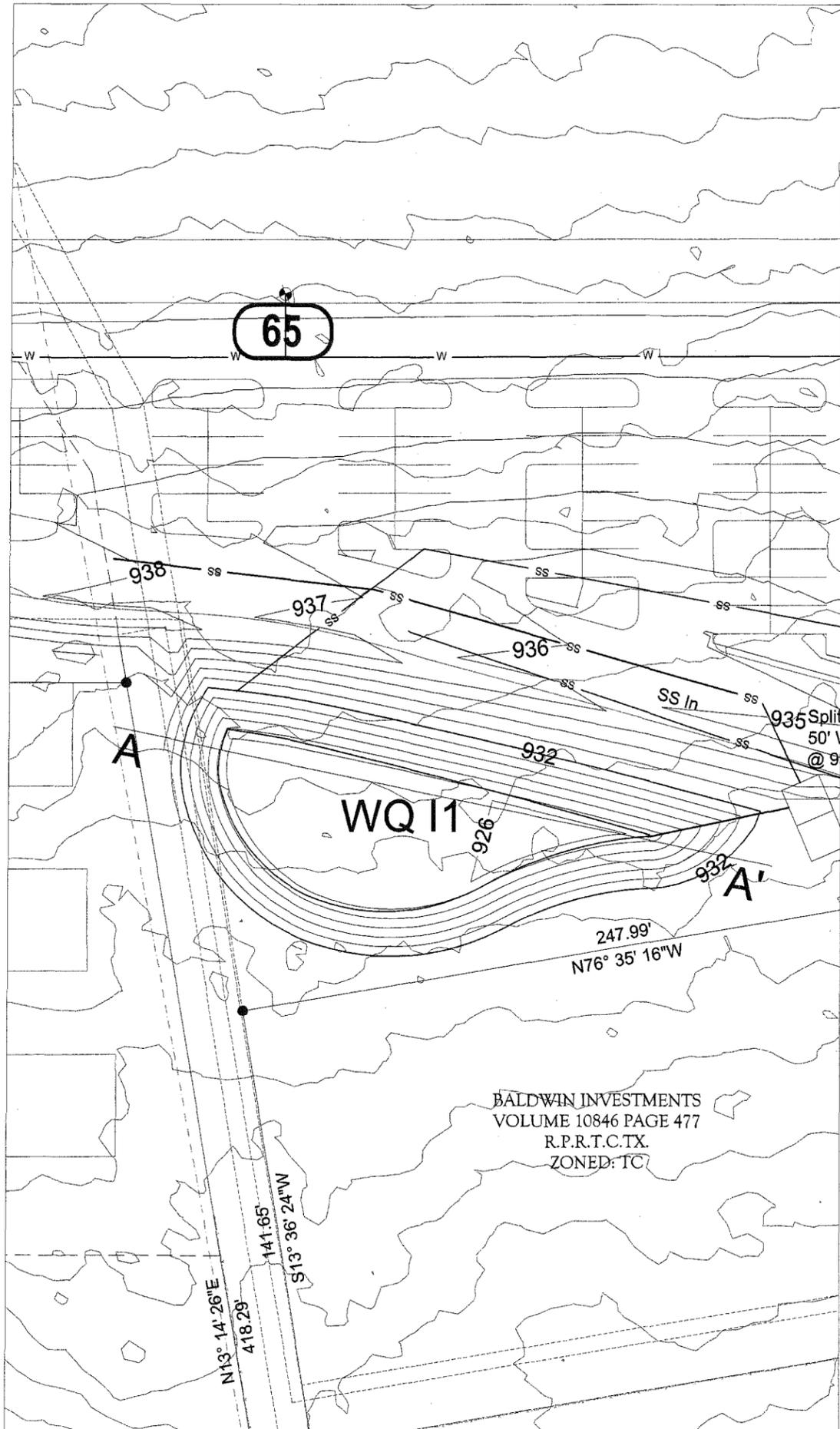


7800 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TX 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420

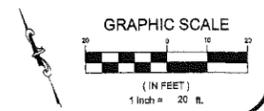
GARRETT-IHNEN
CIVIL ENGINEERS

SHEET NUMBER
C5.9

All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only



Scale:
1"=20'
Vertical 1"=2'



DATE:	1/24/2005
DESIGNED:	SLJ
DRAWN:	CKR
CHECKED:	JKR
JOB NO.:	04093

No.	Description	Date

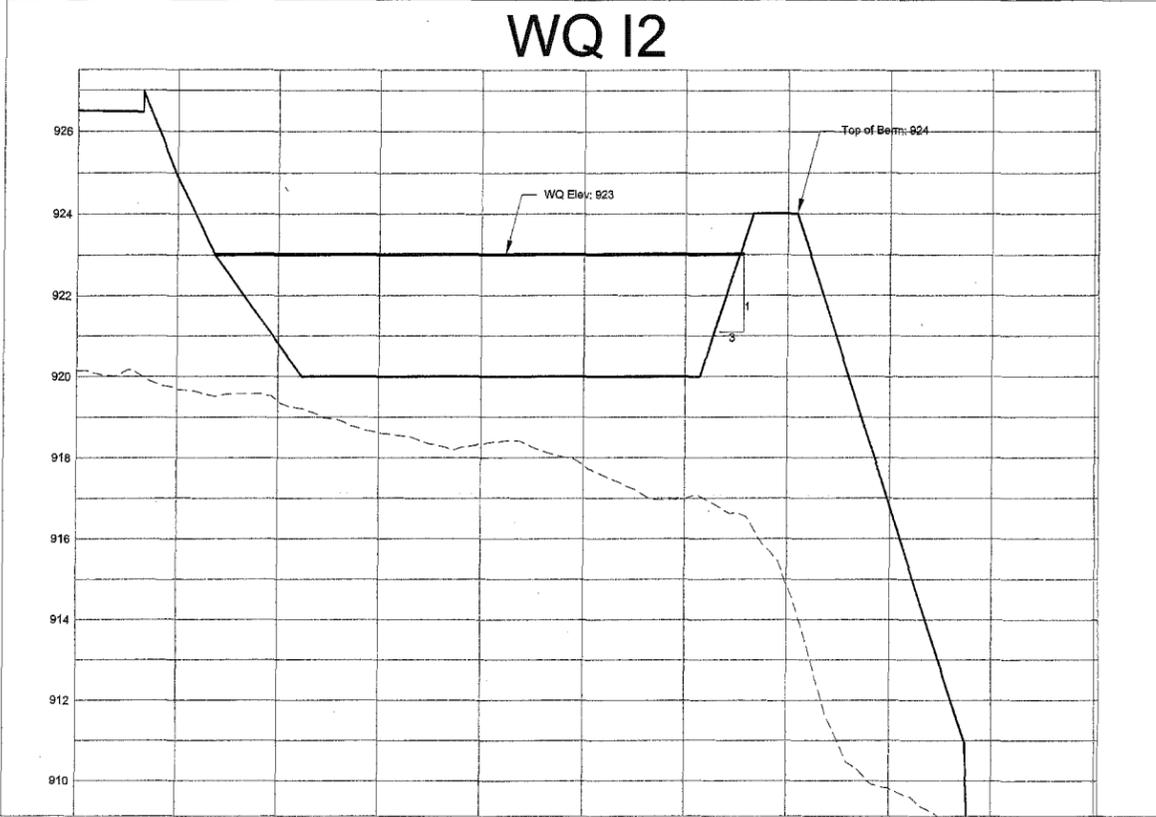
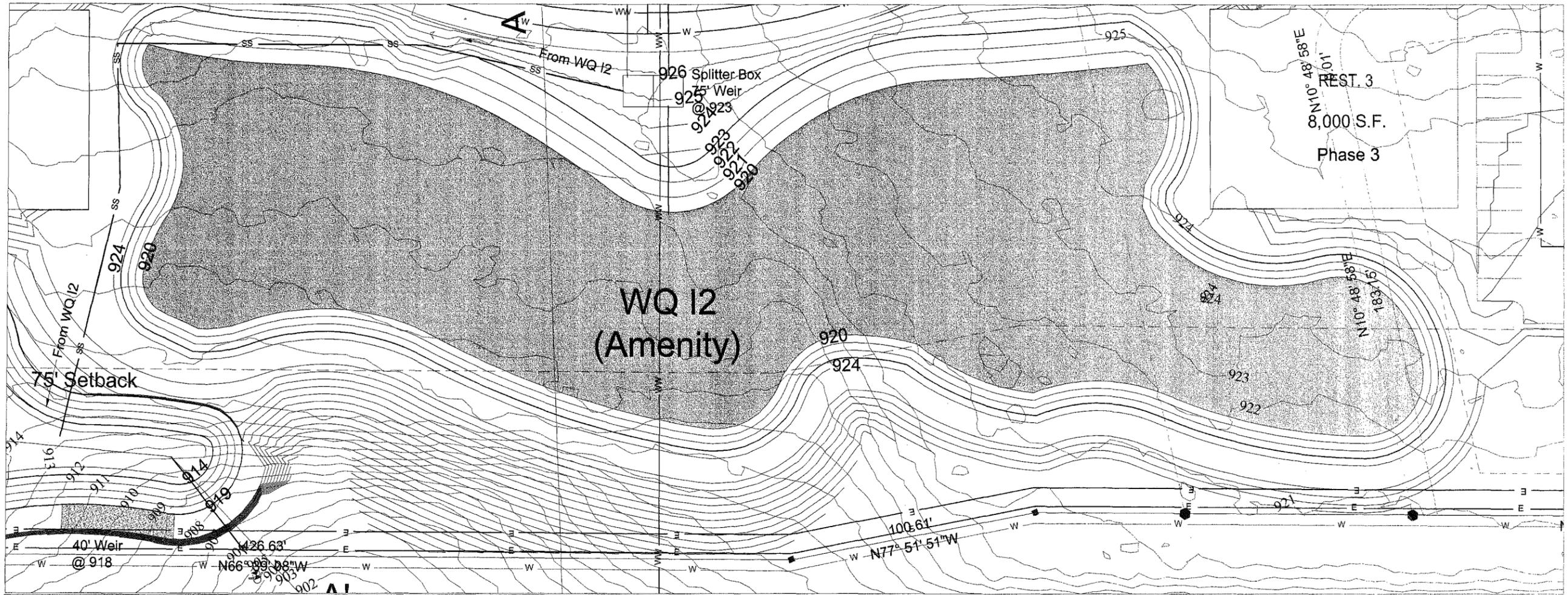
HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
WQ POND I1
PLAN AND SECTIONS



7800 SHOAL CREEK BOULEVARD
SUITE 200 W 4757
AUSTIN, TX 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420

GARRETT-IHNEN
CIVIL ENGINEERS

SHEET NUMBER
C5.10



All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only



DATE:	1/24/2005
DESIGNED:	SLL
DRAWN:	GEW
CHECKED:	JKR
JOB NO.:	0403.9

REVISIONS/CORRECTIONS	
No.	Description

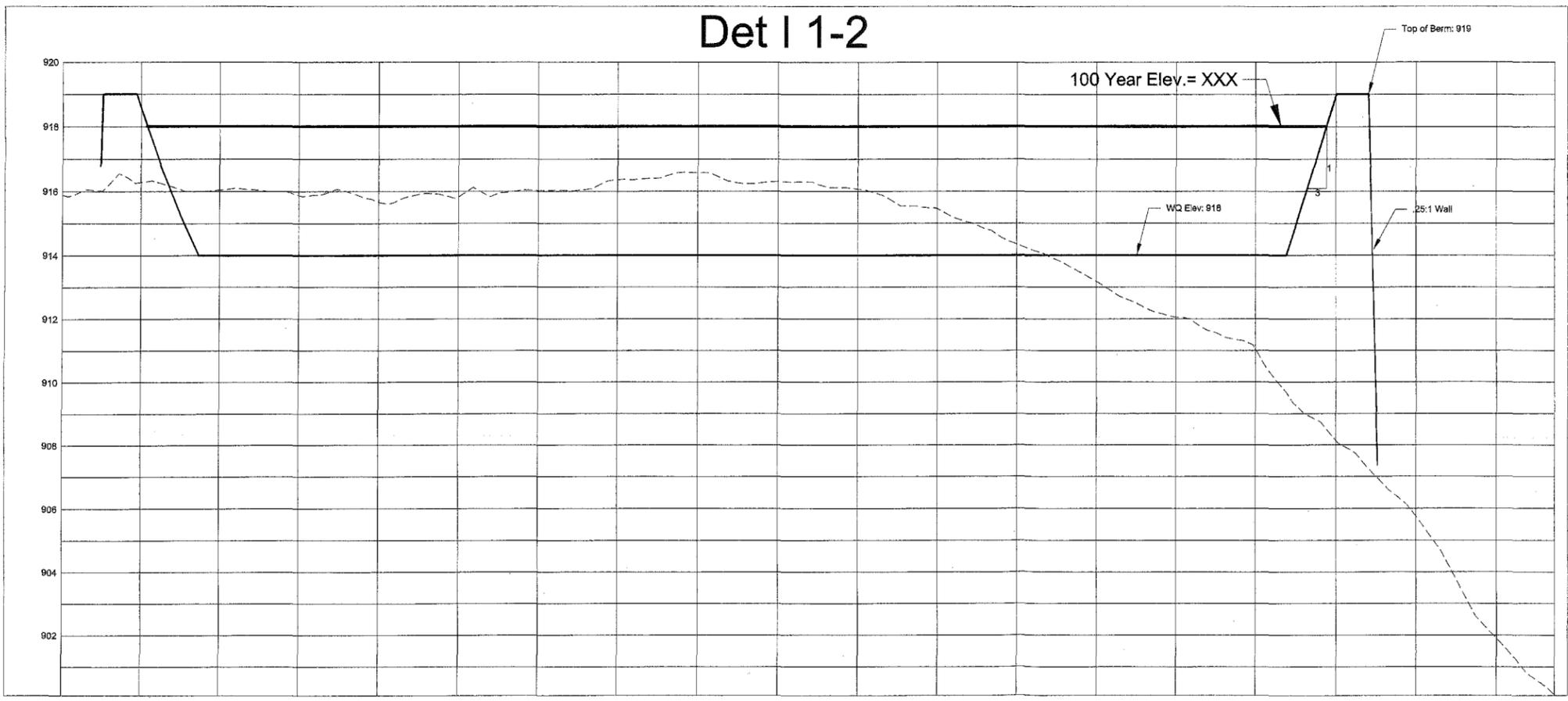
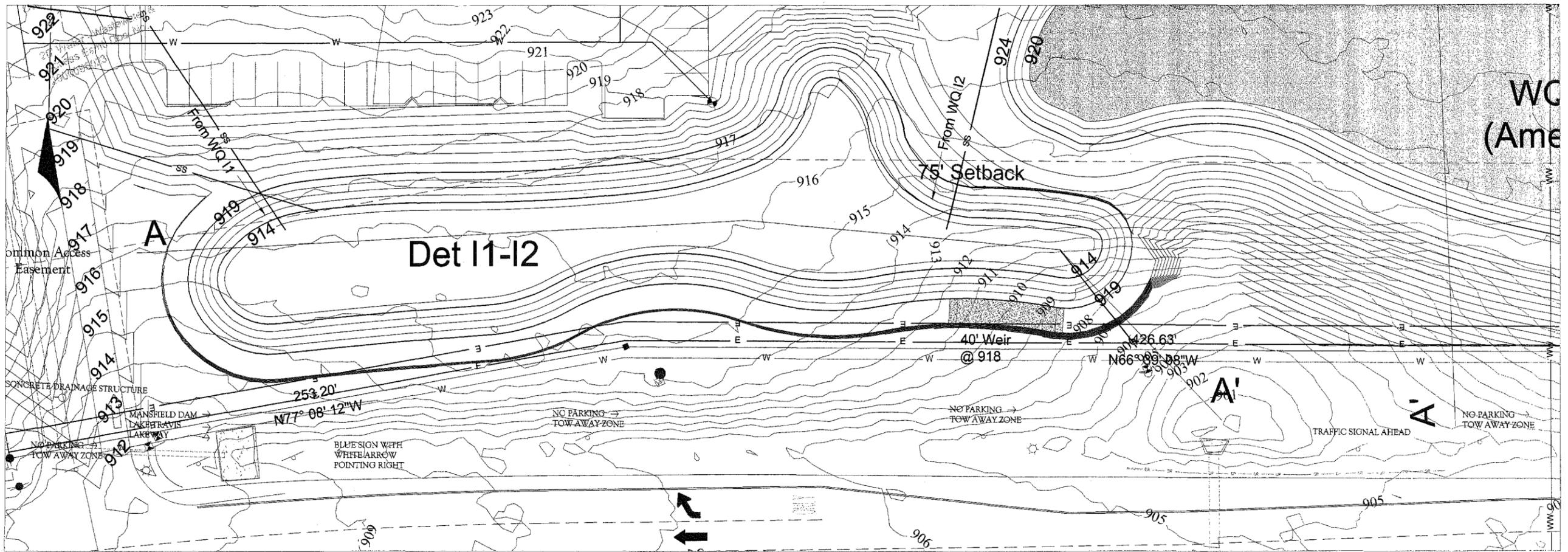
HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 WQ POND 12
 PLAN AND SECTIONS



7800 SHOAL CREEK BOULEVARD
 SUITE 200-W
 AUSTIN, TEXAS 78757
 TELEPHONE: (512) 454-2400
 FACSIMILE: (512) 454-2430



SHEET NUMBER
C5.11



All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only



DATE:	1/24/2005
DESIGNED:	BJL
DRAWN:	EBM
CHECKED:	JKE
JOB NO.:	04034

REVISIONS/CORRECTIONS	
No.	Description

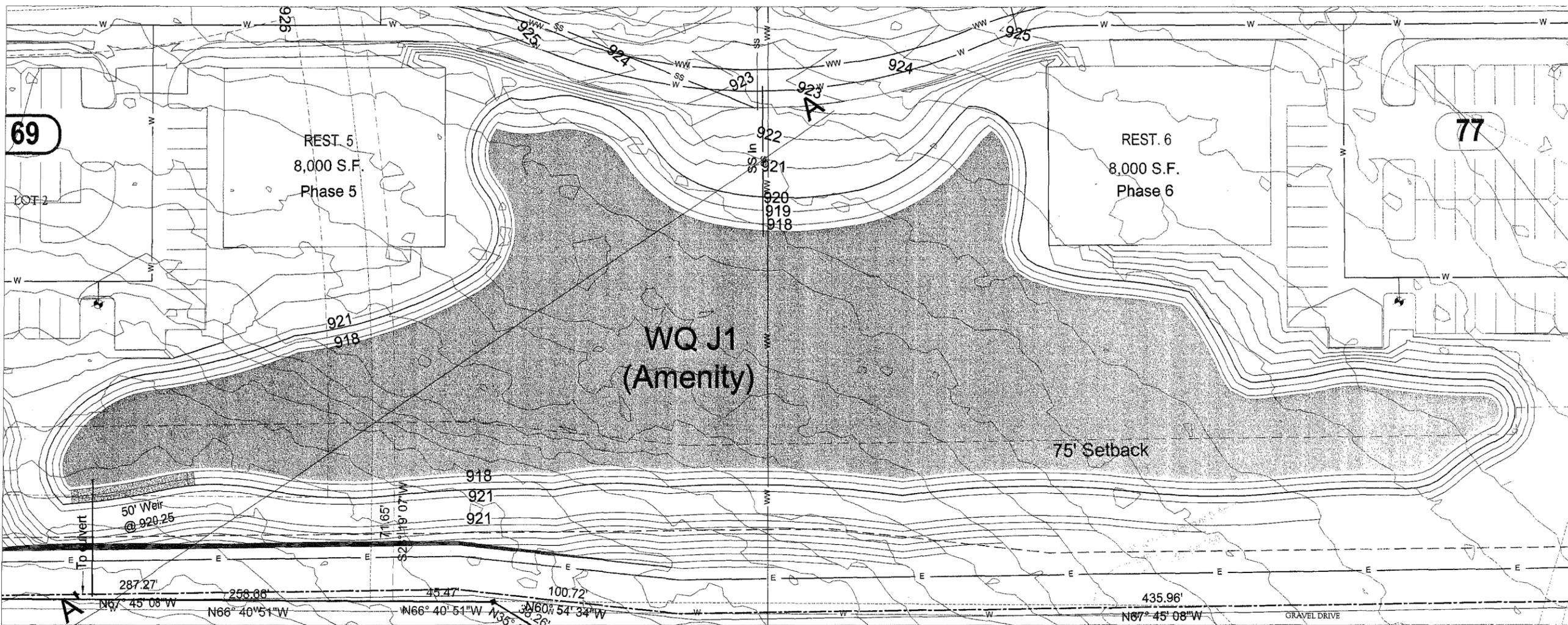
HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 DET POND I 1-2
 PLAN AND SECTIONS



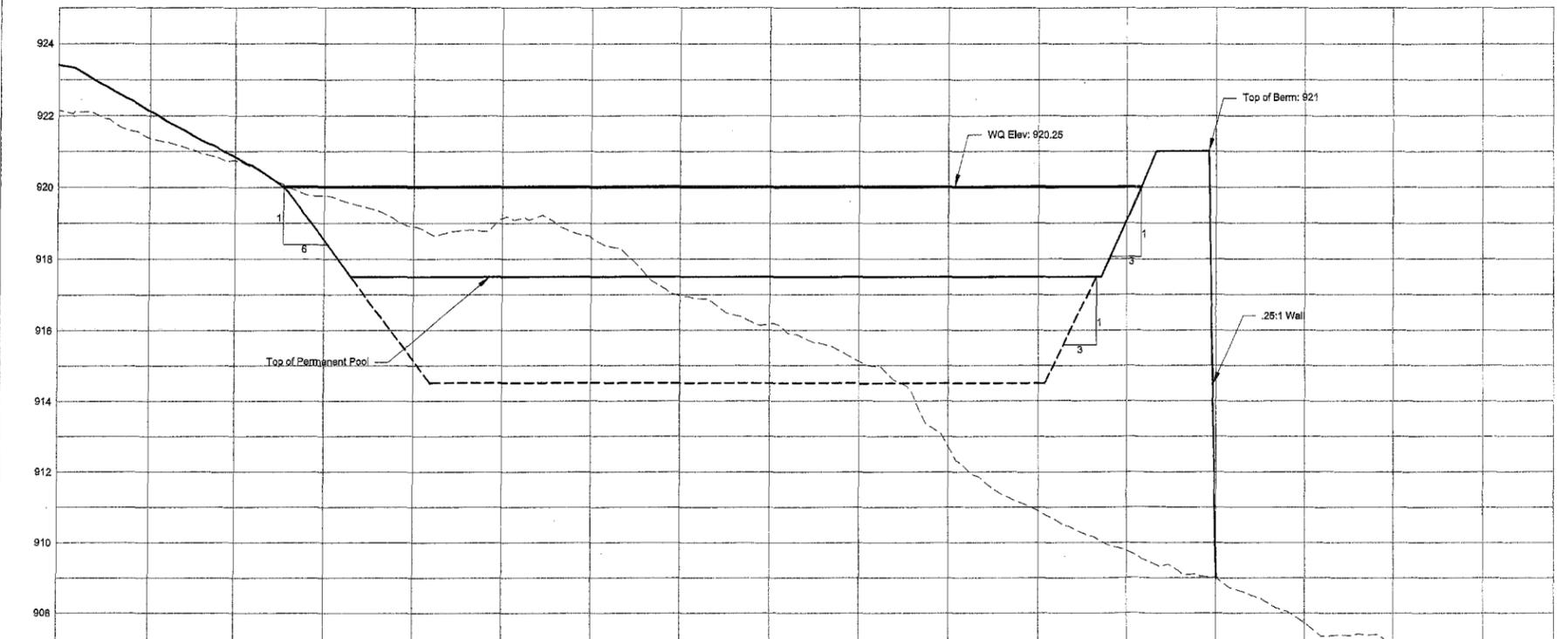
7800 SHAD DREEK BOULEVARD
 SUITE 200-W
 AUSTIN, TX 78757
 TELEPHONE: (512) 454-2400
 FACSIMILE: (512) 454-2420



SHEET NUMBER
C5.12

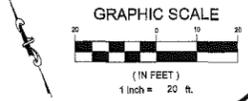


WQ J1



All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only

Scale:
1"=20'
Vertical 1"=2'



DATE:	1/24/2005
DESIGNED BY:	BLI
DRAWN BY:	DEW
CHECKED BY:	JWR
JOB NO.:	04034

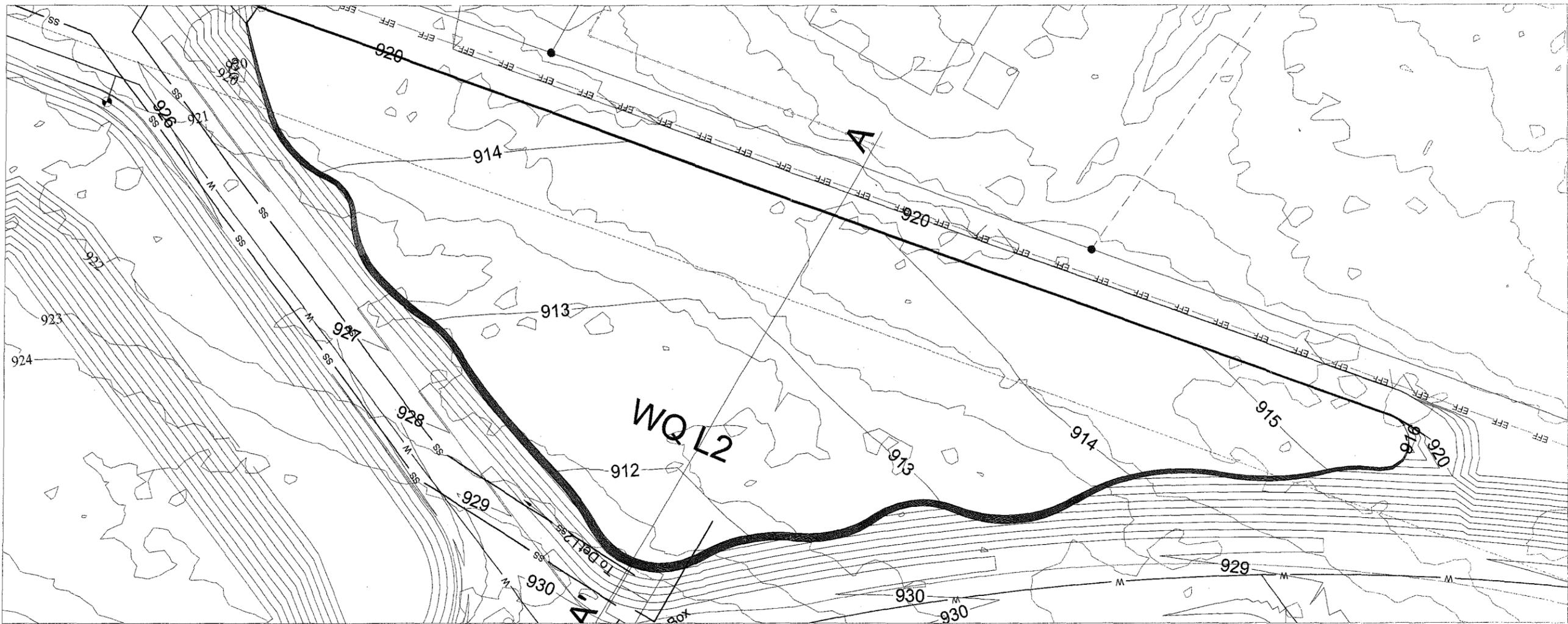
REVISIONS/CORRECTIONS	
No.	Description

HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
WQ POND J1
PLAN AND SECTIONS

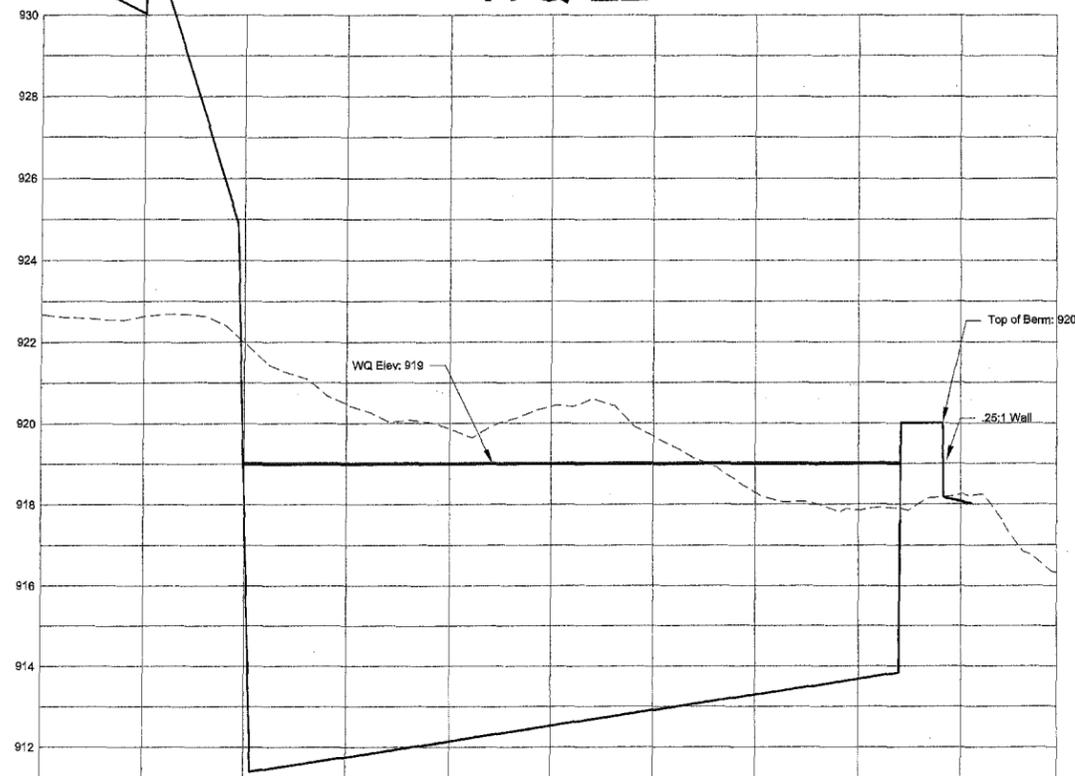


7000 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TEXAS 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 434-2420



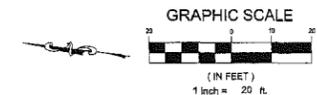


WQ L2



All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only

Scale:
1"=20'
Vertical 1"=2'



DATE:	1/24/2005
DESIGNED:	BL
DRAWN:	CEW
CHECKED:	MB
JOB NO.:	04034

REVISIONS/CORRECTIONS	
No.	Description

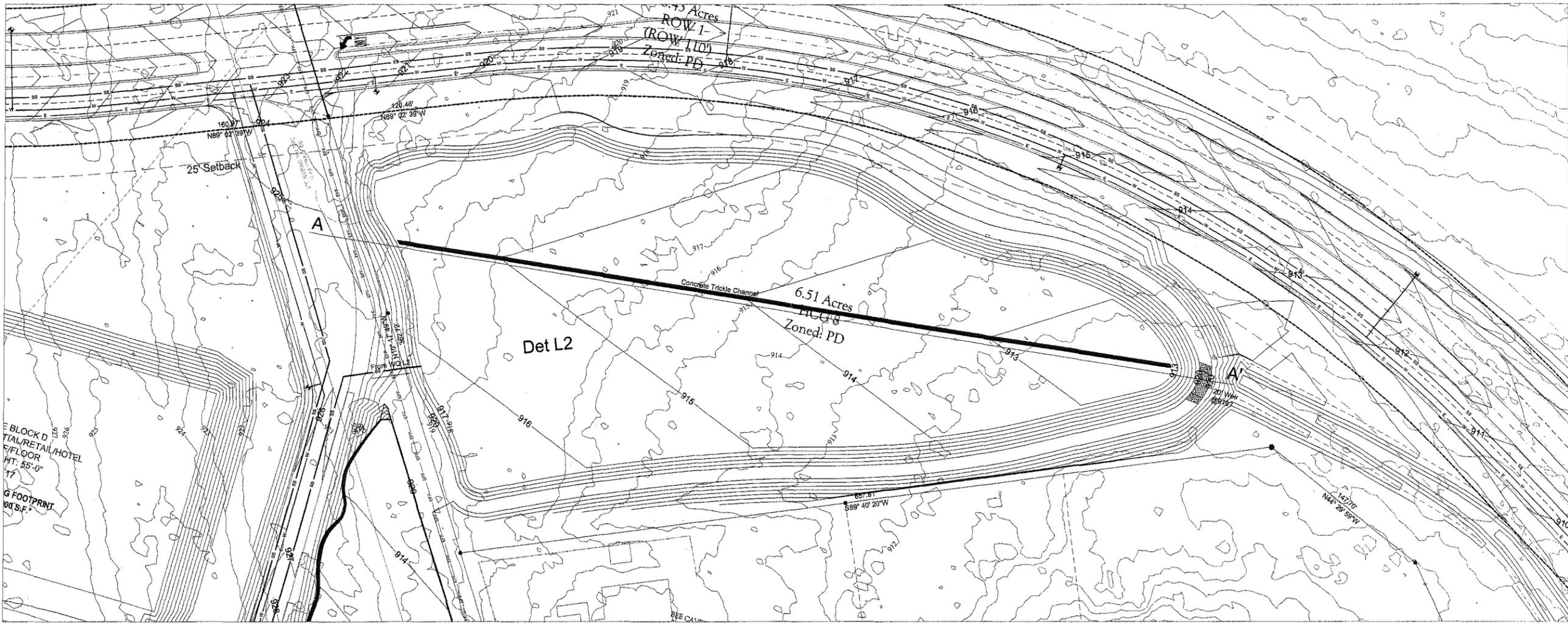
HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
WQ POND L2
PLAN AND SECTIONS



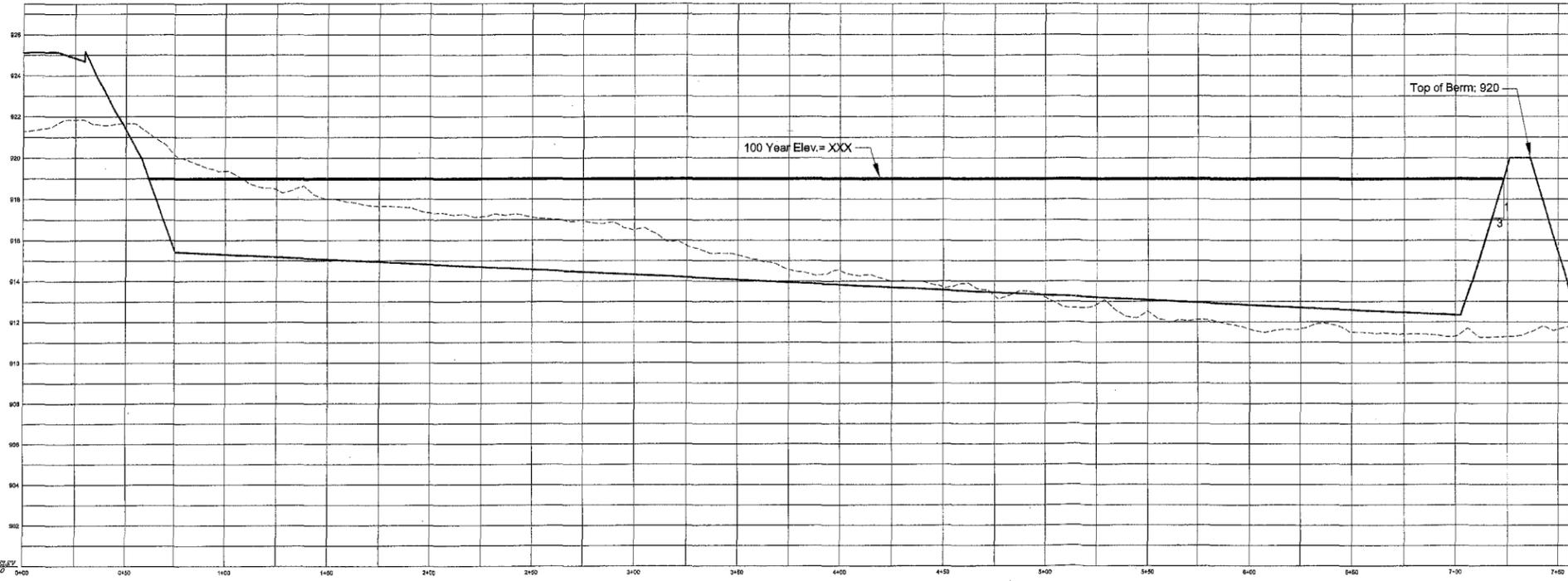
7800 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TEXAS 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420



SHEET NUMBER
C5.14

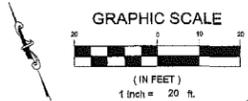


Det L2



All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only

Scale:
1"=40'
Vertical 1"=4'



DATE: 1/24/2005
DESIGNED: SLL
DRAWN: CBM
CHECKED: JHB
JOB NO: 04054

No.	Description	Approved

HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
DET POND L2
PLAN AND SECTIONS

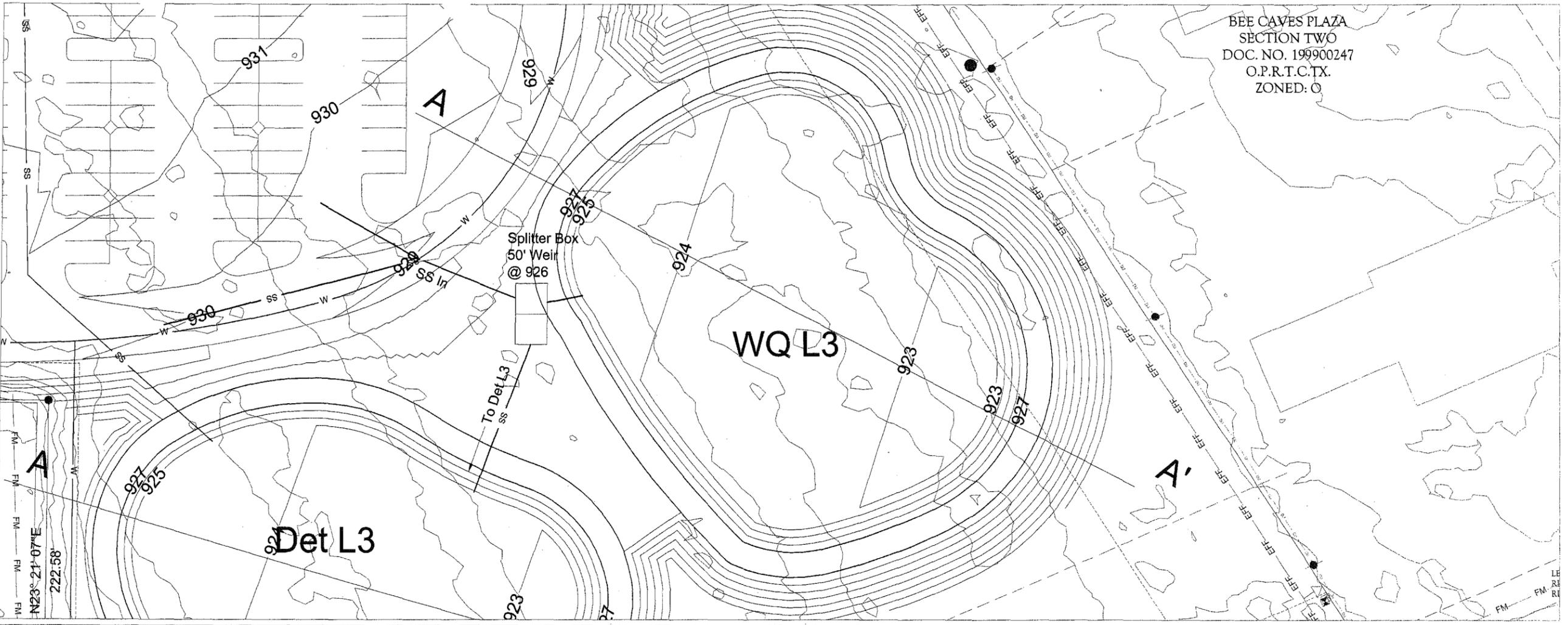


7800 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TEXAS 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420



SHEET NUMBER
C5.15

BEE CAVES PLAZA
SECTION TWO
DOC. NO. 199900247
O.P.R.T.C.TX.
ZONED: O



DATE: 1/24/2005	DESIGNED: SLI
DRAWN: DEW	CHECKED: JMR
JOB NO: 04034	

Rev. No.	Description	Appr. No.	Appr. Name

HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
WQ POND L3
PLAN AND SECTIONS

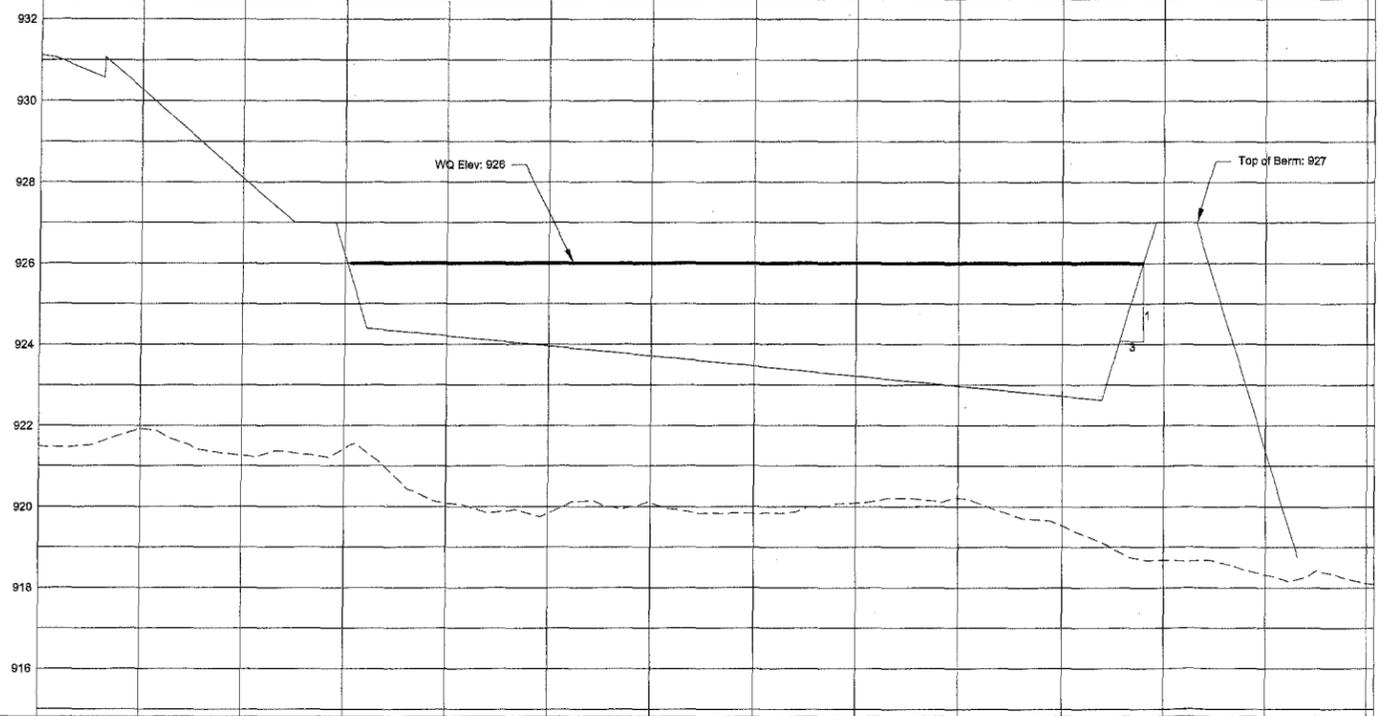


7800 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TEXAS 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420

GARRETT-IHNEN
CIVIL ENGINEERS

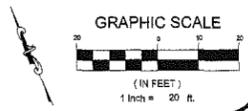
SHEET NUMBER
C5.16

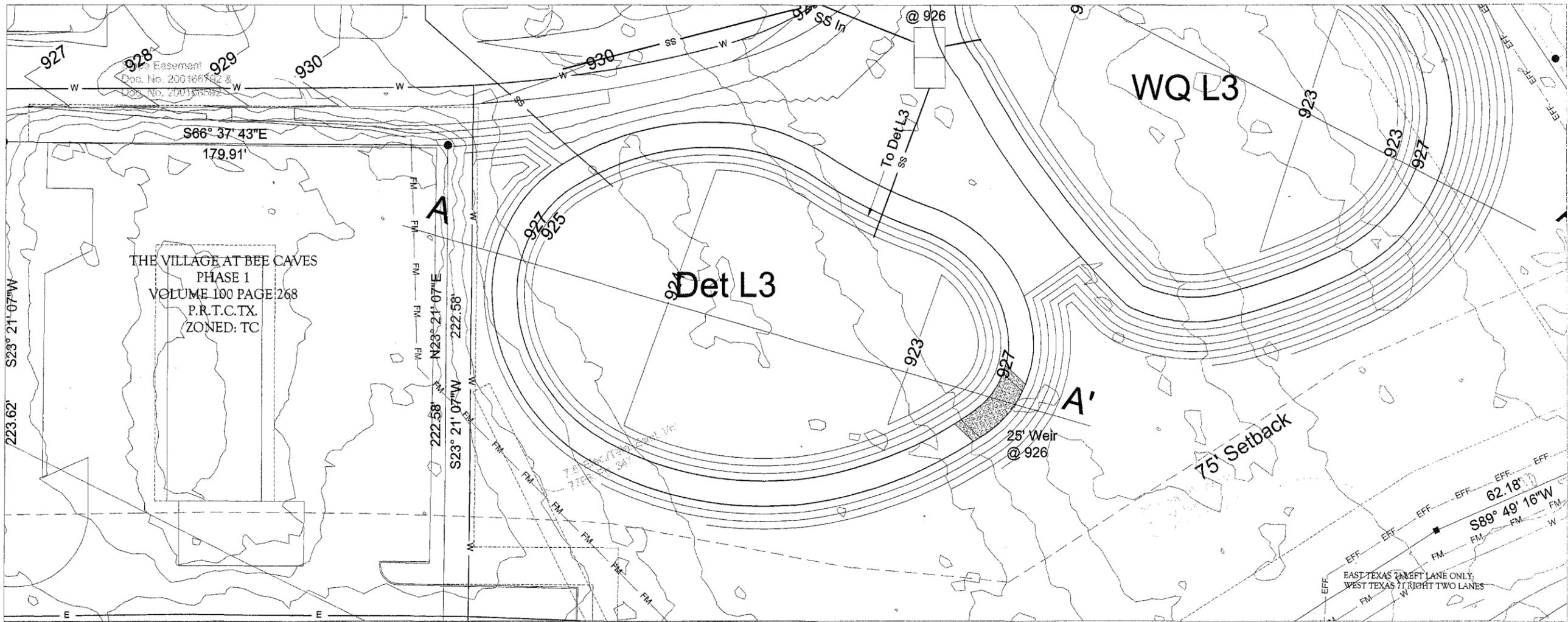
WQ L3



All Proposed Grading, pond locations etc are
Conceptual and for illustrative purposes only

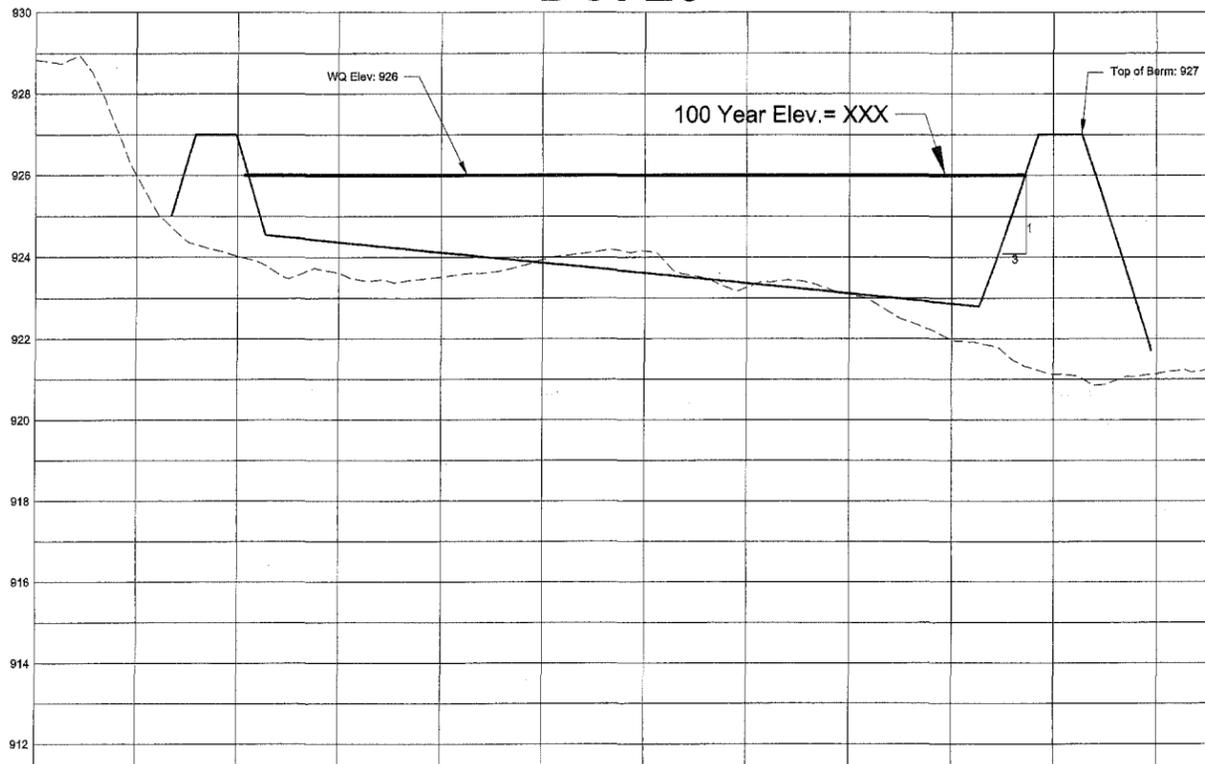
Scale:
1"=20'
Vertical 1"=2'





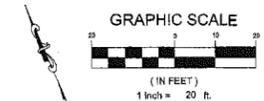
THE VILLAGE AT BEE CAVES
 PHASE 1
 VOLUME 100 PAGE 268
 P.R.T.C.TX.
 ZONED: TC

Det L3



All Proposed Grading, pond locations etc are
 Conceptual and for illustrative purposes only

Scale:
 1"=20'
 Vertical 1"=2'



DATE: 1/24/2005	DESIGNED: SLU	CHECKED: JAK
DRAWN: DGM		JOB NO.: 041034

REVISIONS/CORRECTIONS	
No.	Description

HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 DET POND L3
 PLAN AND SECTIONS

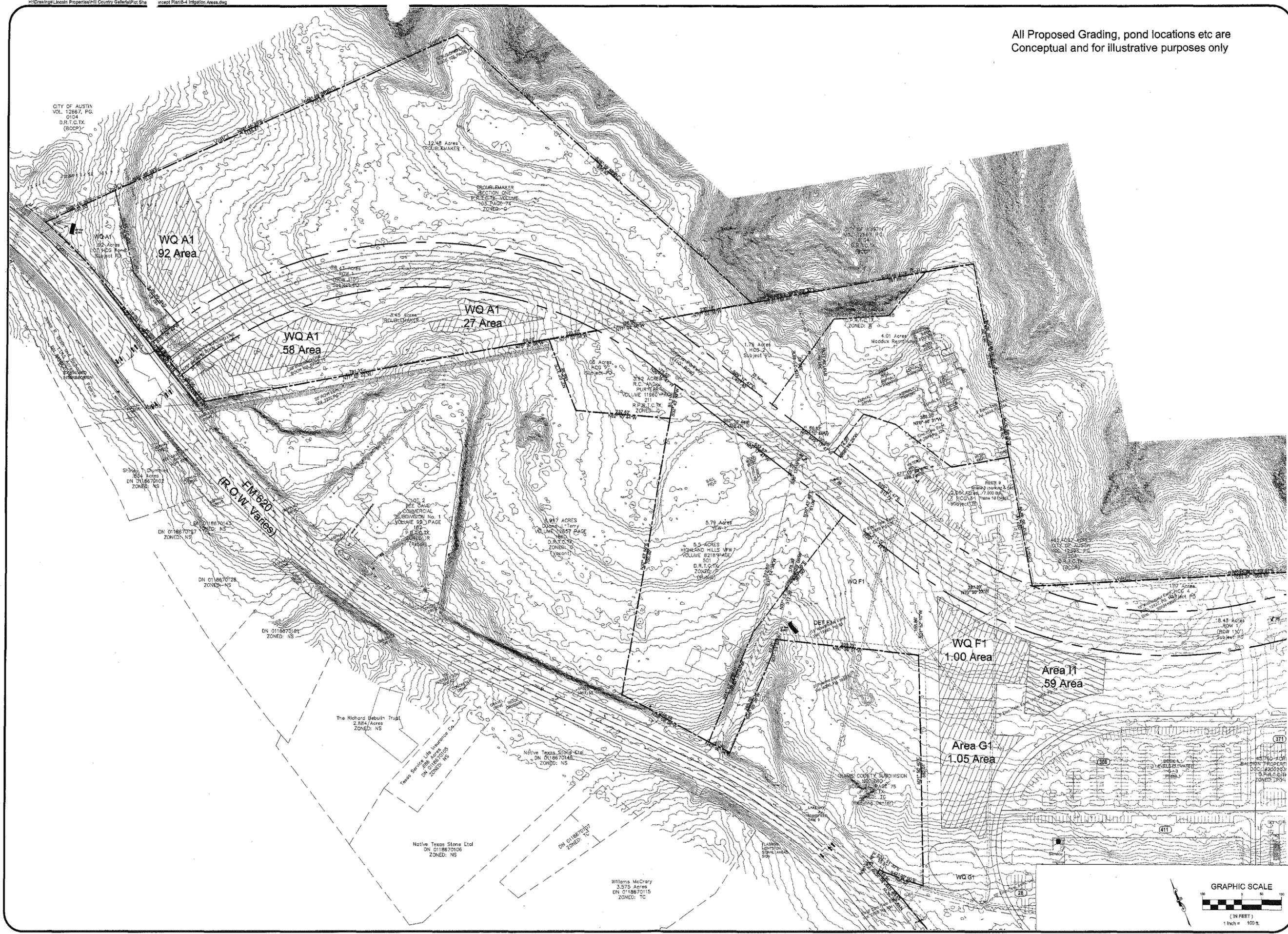


7800 SHOAL CREEK BOULEVARD
 SUITE 200-W
 AUSTIN, TEXAS 78757
 TELEPHONE: (512) 454-2400
 FACSIMILE: (512) 454-2420



SHEET NUMBER
 C5.17

All Proposed Grading, pond locations etc are
 Conceptual and for illustrative purposes only



DATE:	1/26/2005
DESIGNED:	SLJ
DRAWN:	DEW
CHECKED:	JKR
JOB NO.:	040924

REVISIONS/CORRECTIONS	
No.	Description

HILL COUNTRY GALLERIA
 VILLAGE OF BEE CAVE
 TRAVIS COUNTY, TX
 REIRRIGATION AREAS
 DETAIL 1 OF 3



7800 SHOAL CREEK BOULEVARD
 SUITE 200-W
 AUSTIN, TEXAS 78757
 TELEPHONE: (512) 454-2420
 FACSIMILE: (512) 454-2420

GARRETT-IHNEN
 CIVIL ENGINEERS

SHEET NUMBER
C5.19

All Proposed Grading, pond locations etc are Conceptual and for illustrative purposes only



DATE: 1/26/2005
DESIGNED: SAU
DRAWN: DBW
CHECKED: JKP
JOB NO.: 04034

REVISIONS/CORRECTIONS table with columns for No., Description, and Date.

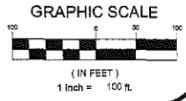
HILL COUNTRY GALLERIA
VILLAGE OF BEE CAVE
TRAVIS COUNTY, TX
REIRRIGATION AREAS
DETAIL 2 OF 3



7800 SHOAL CREEK BOULEVARD
SUITE 200-W
AUSTIN, TEXAS 78757
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420



SHEET NUMBER
C5.20





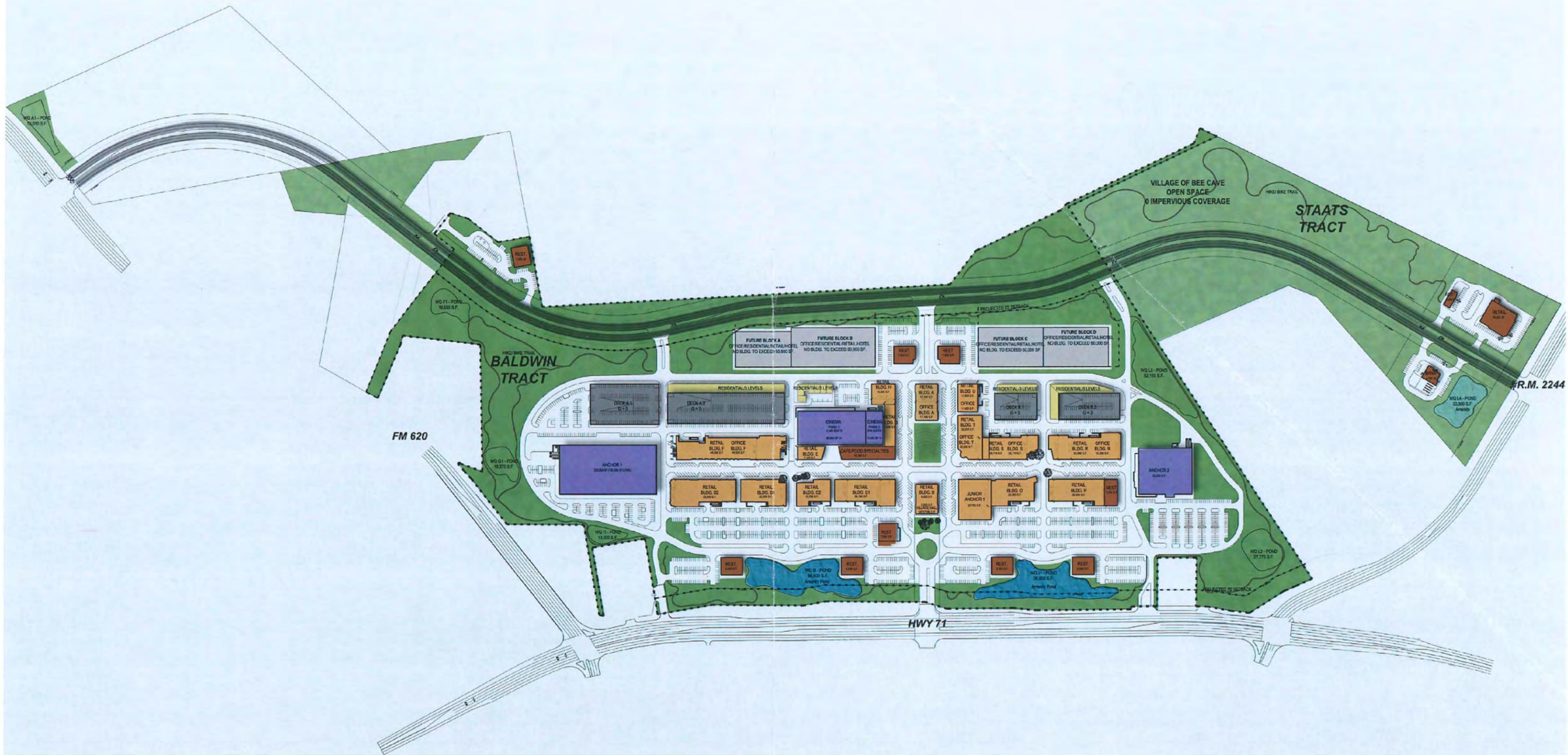
Hill Country Galleria

Village of Bee Cave, Texas



L P C
LINCOLN PROPERTY COMPANY

01.26.2005
T1.1



R.M. 2244

Scale: 1:200

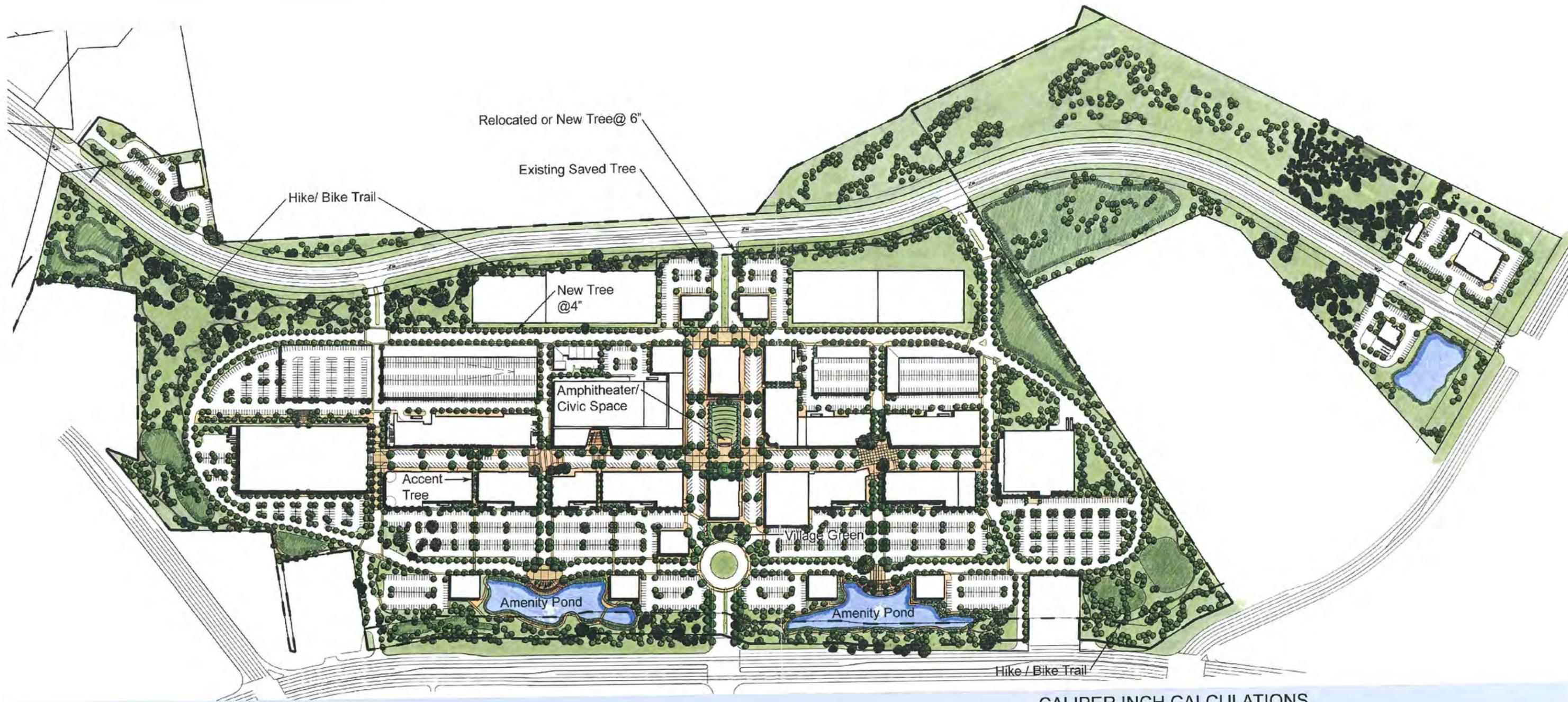
Hill Country Galleria

Village of Bee Cave, Texas



Concept Plan

RTKL
A1.1



Scale: 1:200

CALIPER INCH CALCULATIONS

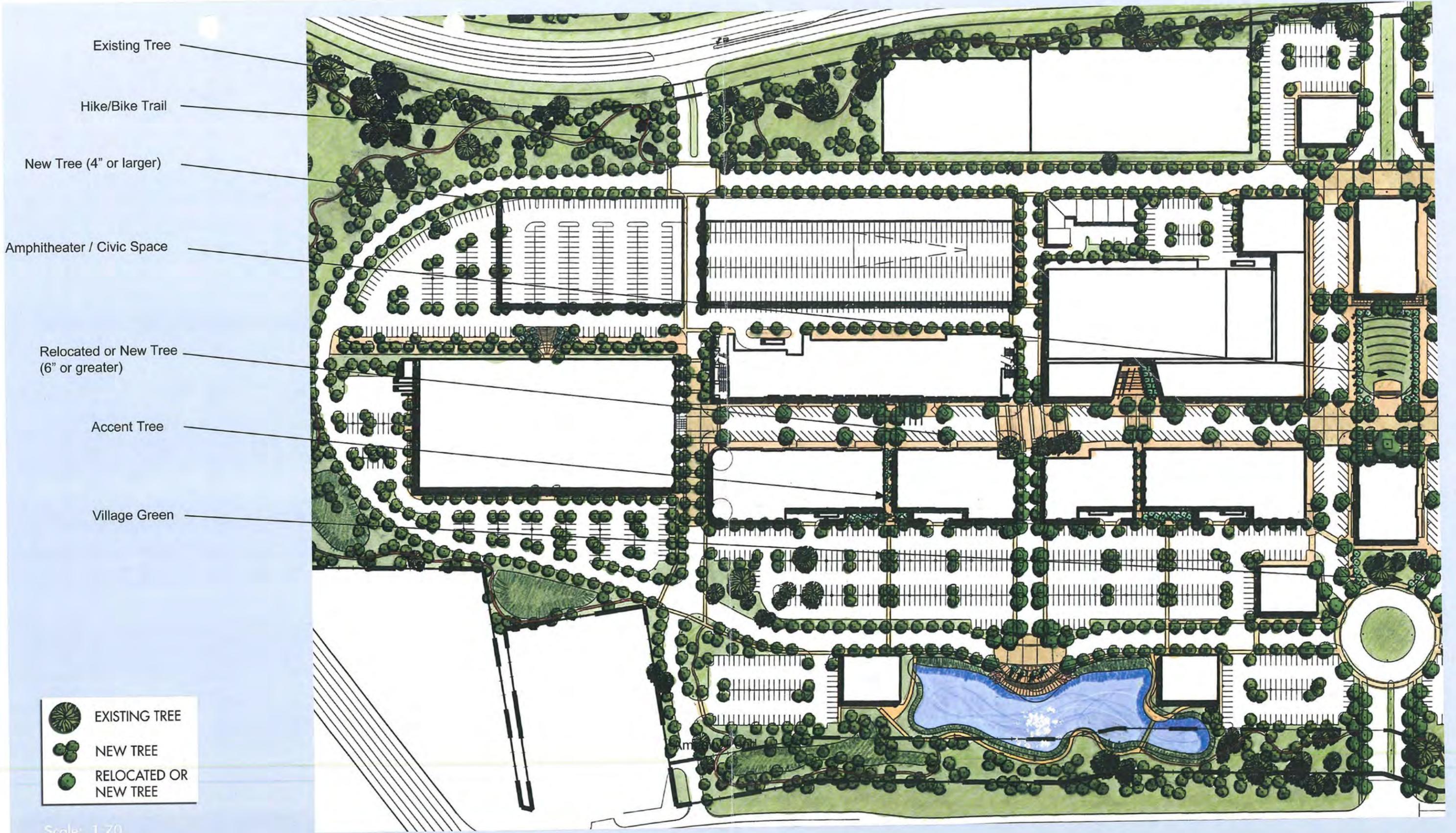
EXISTING TREES SAVED	8,375.5	Cal. Inches
RELOCATED OR NEW TREES (6" OR GREATER)	1,614	Cal. Inches
NEW / ACCENT TREES (3" OR SMALLER)	12,137.5	Cal. Inches
TOTAL CALIPER INCHES	22,127	Cal. Inches

Hill Country Galleria
Village of Bee Cave, Texas



*Tree Preservation/
Concept Landscape Plan*

RTKL
L1.1

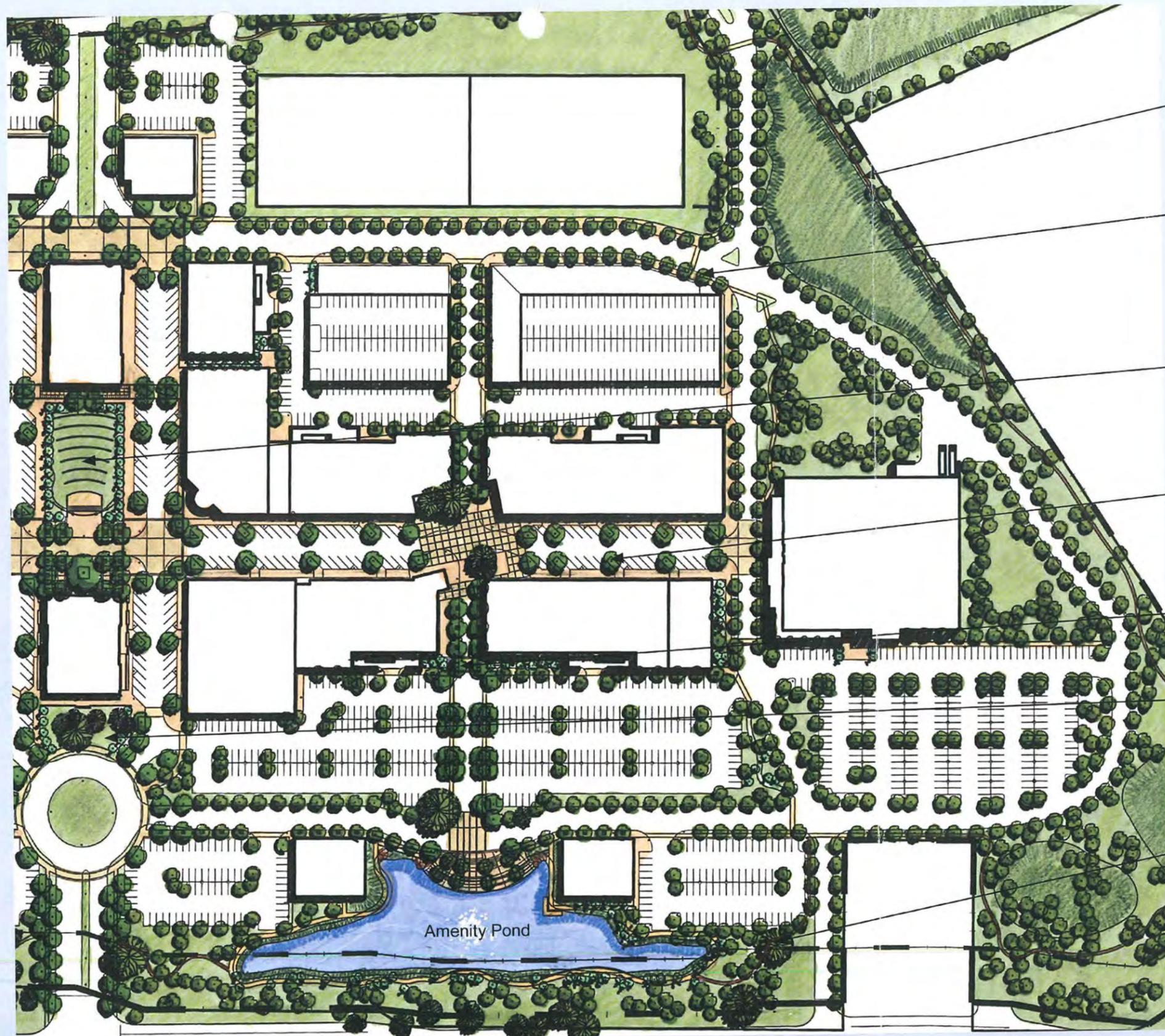


Hill Country Galleria
 Village of Bee Cave, Texas



*Tree Preservation/ Concept
 Landscape Plan- Part 1*

RTKL



Hike/Bike Trail

New Tree (4" or larger)

Amphitheater / Civic Space

Relocated or New Tree (6" or greater)

Accent Tree

Village Green

Existing Tree

Amenity Pond

	EXISTING TREE
	NEW TREE
	RELOCATED OR NEW TREE

Scale: 1:70

Hill Country Galleria

Village of Bee Cave, Texas



Tree Preservation/ Concept Landscape Plan- Part 2

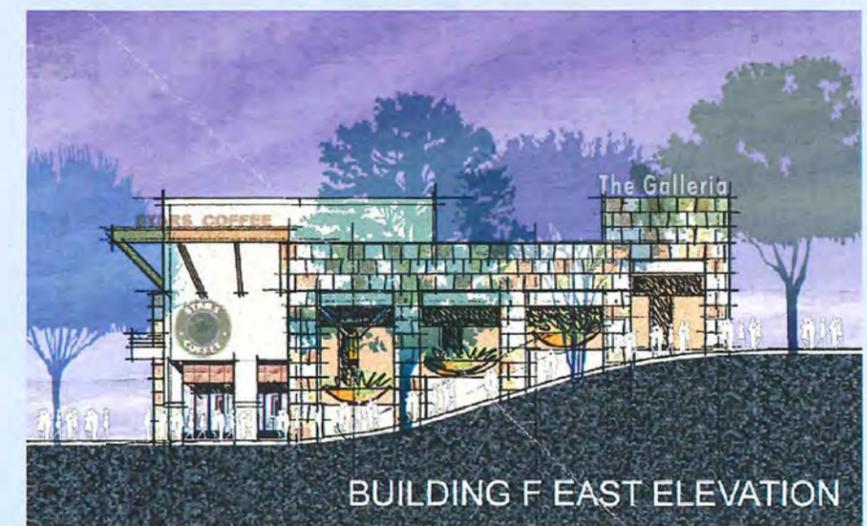




BUILDING F SOUTH ELEVATION, MAIN STREET SIDE



BUILDING F WEST ELEVATION



BUILDING F EAST ELEVATION



BUILDING F NORTH ELEVATION, GALLERIA PARKWAY SIDE

Note: Building elevations will be consistent w/ Prototypes (as depicted on attached Prototype drawings), but the final composition of building elevations (comprised of Prototype elements) may vary slightly to accommodate leasing requirements. All signage, (as depicted on elevations and Prototypes) is for illustrative purposes only.

Hill Country Galleria

Village of Bee Cave, Texas



Building F Elevations

RTKL
A3.1



BUILDING D1 D2 ELEVATION, MAIN STREET SIDE



BUILDING D1 D2 ELEVATION, HWY 71 SIDE

Note: Building elevations will be consistent w/ Prototypes (as depicted on attached Prototype drawings), but the final composition of building elevations (comprised of Prototype elements) may vary slightly to accommodate leasing requirements. All signage, (as depicted on elevations and Prototypes) is for illustrative purposes only.

Hill Country Galleria

Village of Bee Cave, Texas



Elevations

RTKL
A3.2



BUILDING E, CAFE/SPECIALITIES, & CINEMA



BUILDINGS T AND S NORTH ELEVATION



BUILDING R NORTH ELEVATION

Note: Building elevations will be consistent w/ Prototypes (as depicted on attached Prototype drawings), but the final composition of building elevations (comprised of Prototype elements) may vary slightly to accommodate leasing requirements. All signage, (as depicted on elevations and Prototypes) is for illustrative purposes only.

Hill Country Galleria

Village of Bee Cave, Texas

Elevations



BUILDINGS C1 AND C2 ELEVATION



BUILDING P ELEVATION



BUILDINGS O AND JUNIOR ANCHOR ELEVATION

Note: Building elevations will be consistent w/ Prototypes (as depicted on attached Prototype drawings), but the final composition of building elevations (comprised of Prototype elements) may vary slightly to accommodate leasing requirements. All signage, (as depicted on elevations and Prototypes) is for illustrative purposes only.

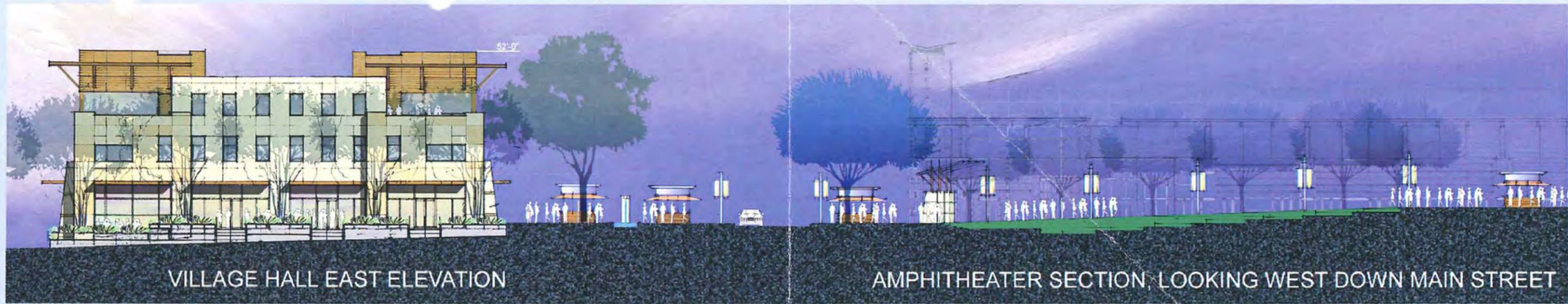
Hill Country Galleria

Village of Bee Cave, Texas



Elevations

RTKL
A3.4



VILLAGE HALL EAST ELEVATION

AMPHITHEATER SECTION LOOKING WEST DOWN MAIN STREET



VILLAGE HALL ELEVATION



BUILDING A EAST ELEVATION



BUILDING A ELEVATION



BUILDINGS U & T WEST ELEVATION, FROM PLAZA



JUNIOR ANCHOR WEST ELEVATION, FROM VILLAGE HALL

Note: Building elevations will be consistent w/ Prototypes (as depicted on attached Prototype drawings), but the final composition of building elevations (comprised of Prototype elements) may vary slightly to accommodate leasing requirements. All signage, (as depicted on elevations and Prototypes) is for illustrative purposes only.

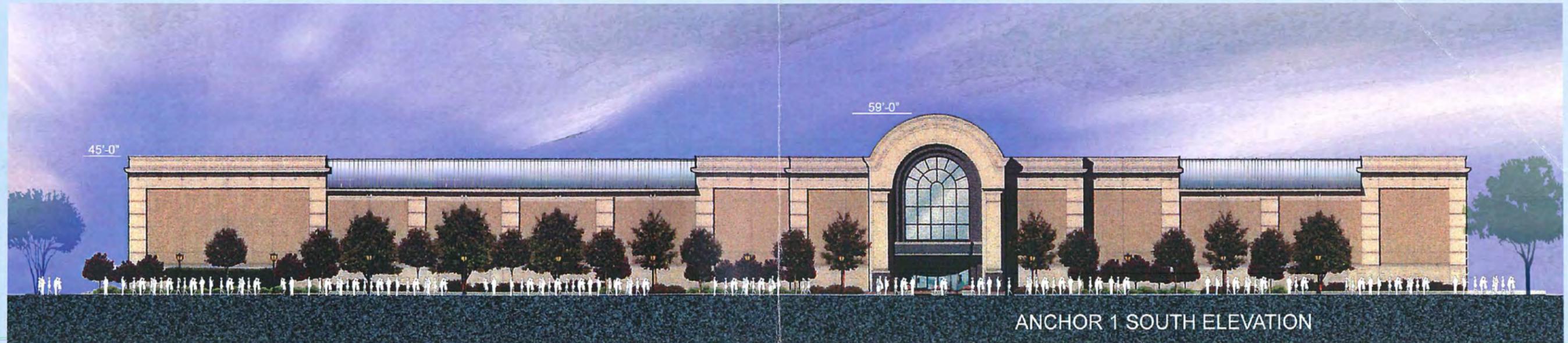
Hill Country Galleria

Village of Bee Cave, Texas



Elevations

RTKL
A3.5

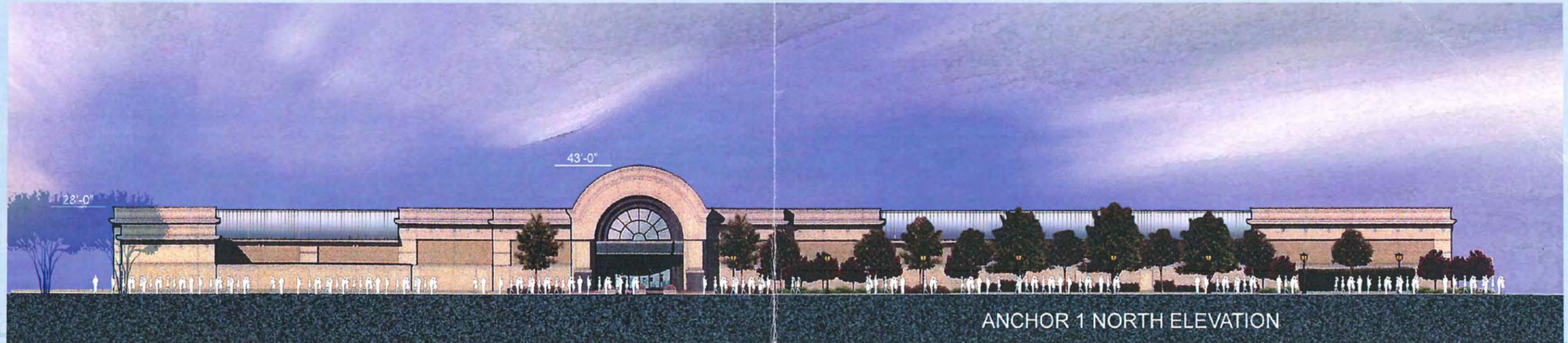
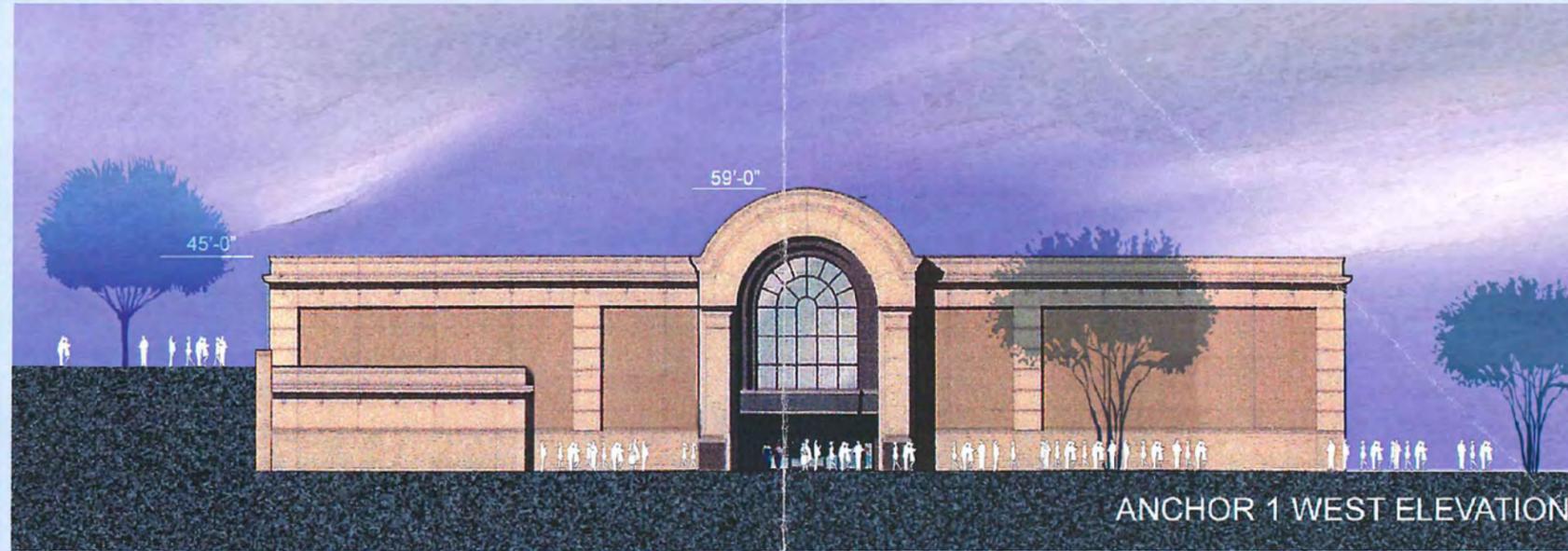


Hill Country Galleria

Village of Bee Cave, Texas



Anchor 1 Elevations



Hill Country Galleria

Village of Bee Cave, Texas



Anchor 1 Elevations

RTKL
A3.7

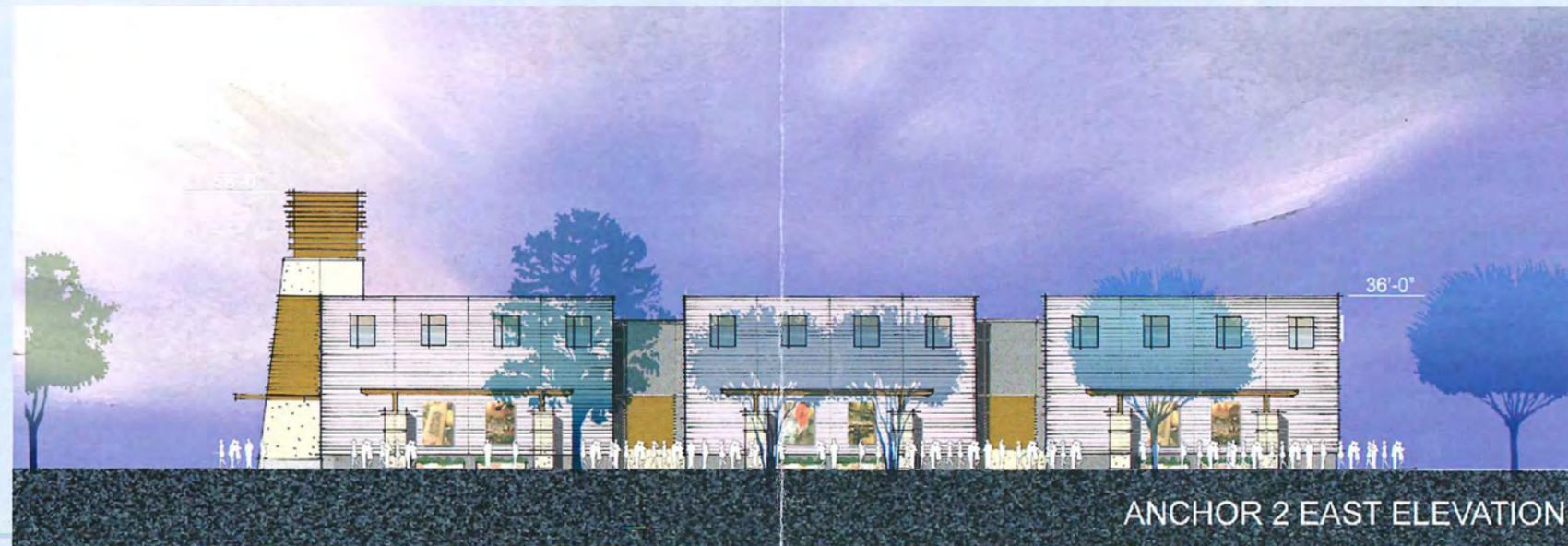


Hill Country Galleria

Village of Bee Cave, Texas



Anchor 2 Elevations



Hill Country Galleria

Village of Bee Cave, Texas



Anchor 2 Elevations



BUILDINGS G & H EAST ELEVATION



CINEMA & BUILDING E WEST ELEVATION



CINEMA NORTH ELEVATION

Note: Building elevations will be consistent w/ Prototypes (as depicted on attached Prototype drawings), but the final composition of building elevations (comprised of Prototype elements) may vary slightly to accommodate leasing requirements. All signage, (as depicted on elevations and Prototypes) is for illustrative purposes only.

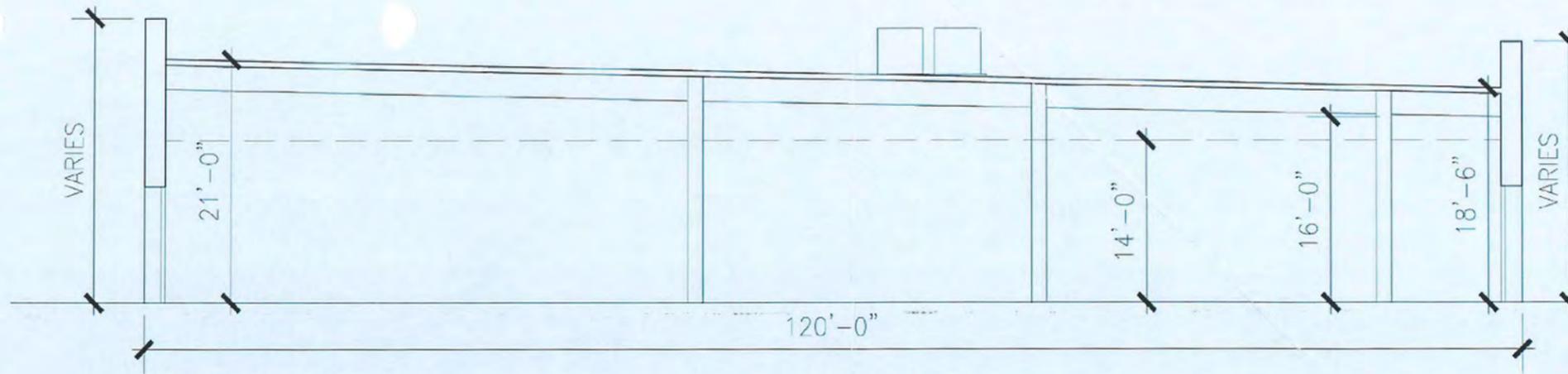
Hill Country Galleria

Village of Bee Cave, Texas



Elevations

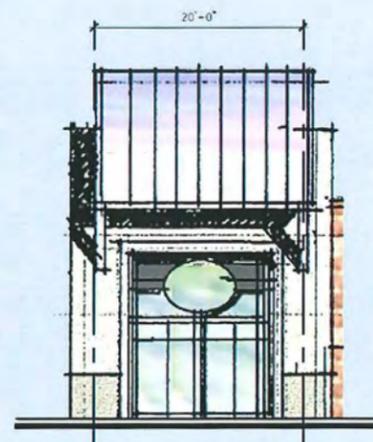
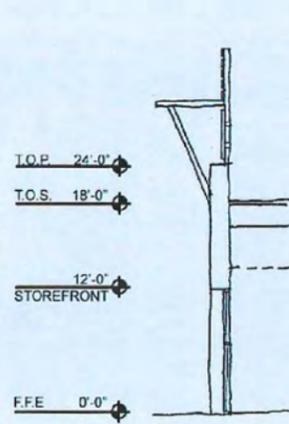
RTKL
A3.10



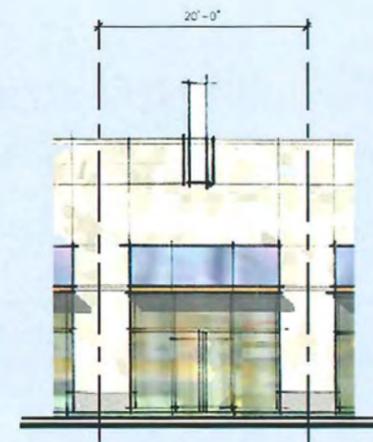
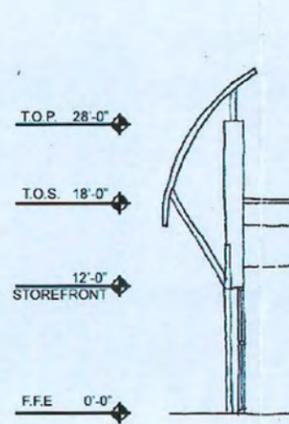
ONE STORY



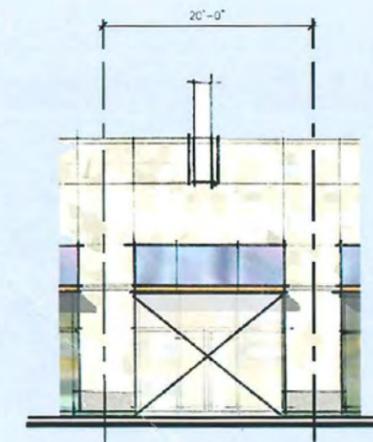
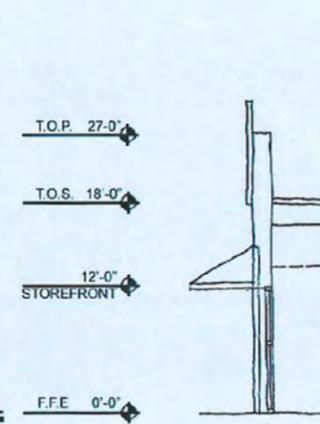
TYPE 1A
14'-0" CEILING
18'-6" TOD.
24'-0" TOP. (3'-0" PARAPET)



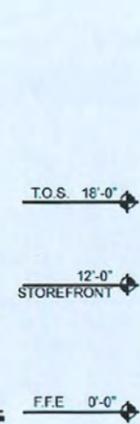
TYPE 1B
14'-0" CEILING
18'-6" TOD.
28'-0" TOP. (7'-0" PARAPET)



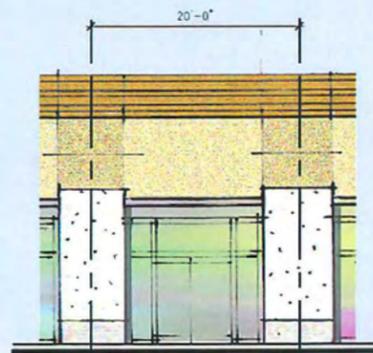
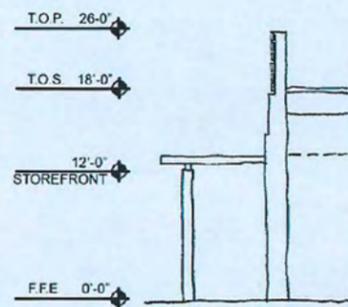
TYPE 1C
14'-0" CEILING
18'-6" TOD.
27'-0" TOP. (6'-0" PARAPET)



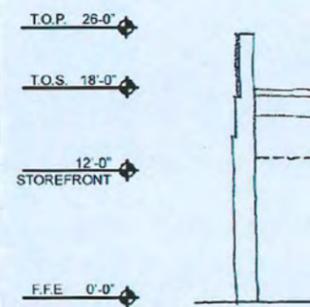
TYPICAL ALL PROTOTYPES :
STOREFRONT PROVIDED BY TENANT



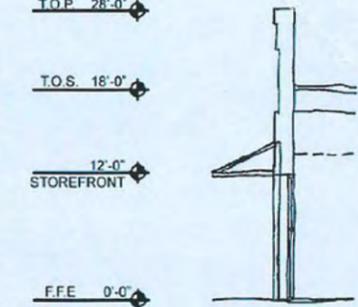
TYPE 1D (W/ WOOD TRELLIS)
14'-0" CEILING
18'-6" TOD.
26'-0" TOP. (5'-0" PARAPET)



TYPE 1E (WO/ WOOD TRELLIS)
14'-0" CEILING
18'-6" TOD.
26'-0" TOP. (5'-0" PARAPET)



TYPE 1F
14'-0" CEILING
18'-6" TOD.
28'-0" TOP. (7'-0" PARAPET)

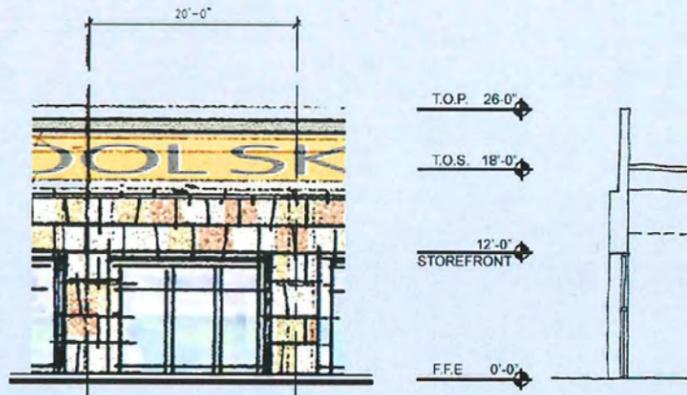


Scale: 1/8" = 1'0"

Hill Country Galleria

Village of Bee Cave, Texas

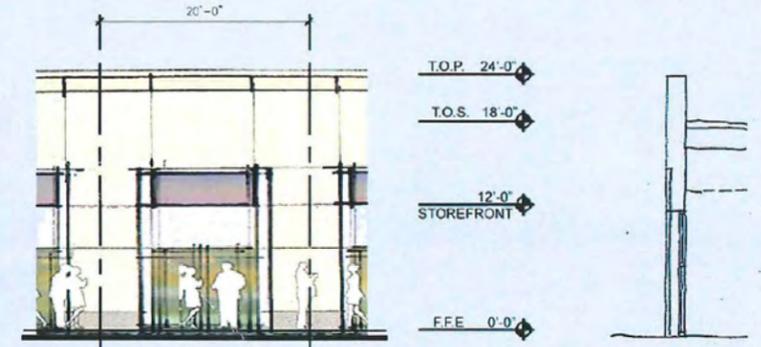
One Story Prototypes



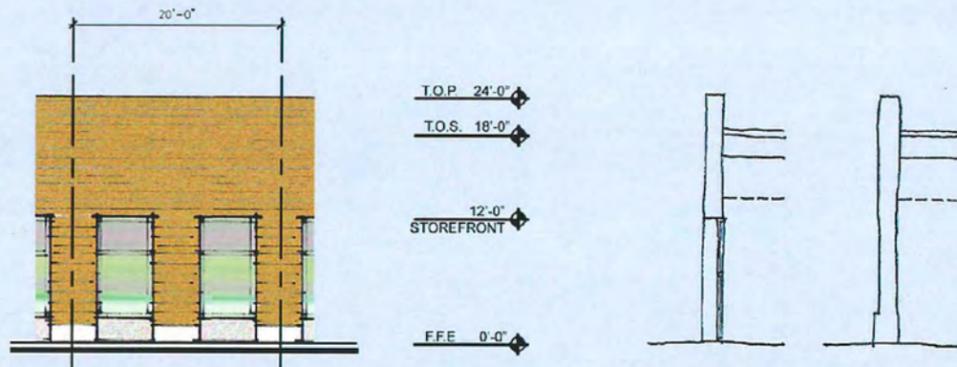
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26'-0" TOP. (5'-0" PARAPET)



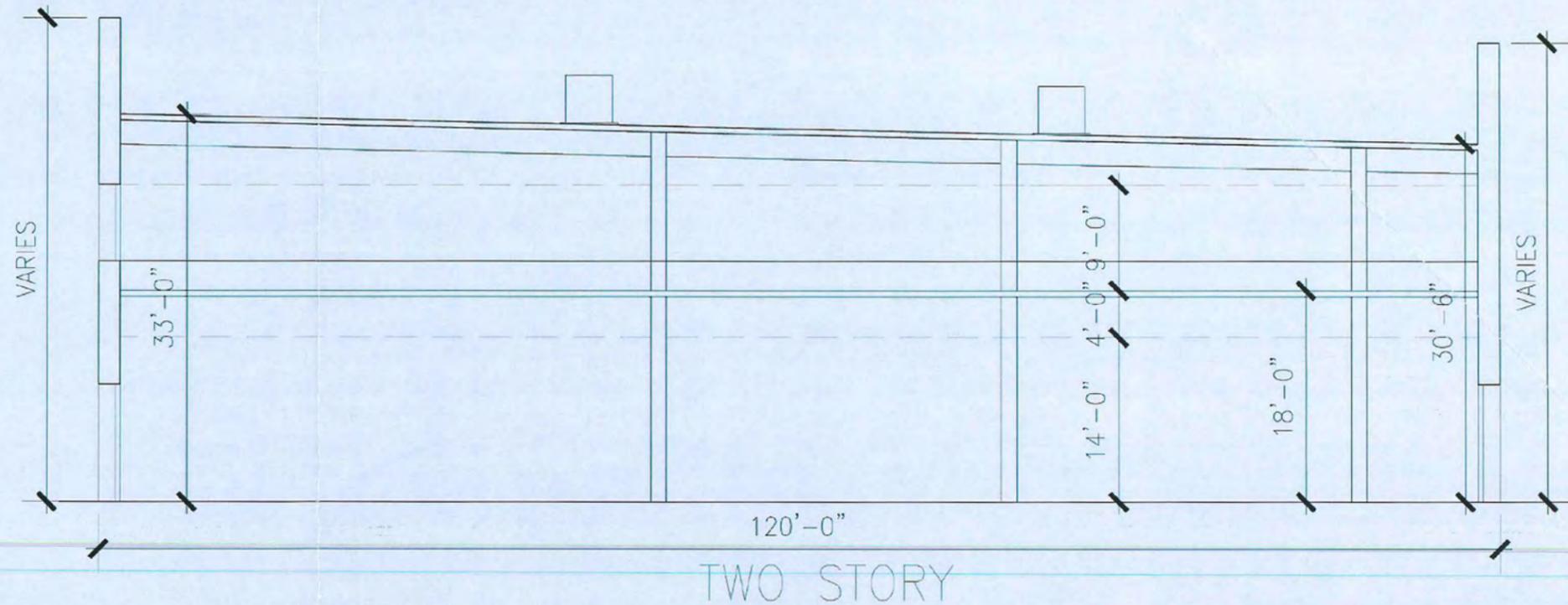
TYPE 1H
14'-0" CEILING
18'-6" TOD.
24'-0" TOP. (3'-0" PARAPET)



TYPE 1J
14'-0" CEILING
18'-6" TOD.
25'-0" TOP. (4'-0" PARAPET)



TYPE 1K
14'-0" CEILING
18'-6" TOD.
24'-0" TOP. (3'-0" PARAPET)



Scale: 1/8" = 1'0"

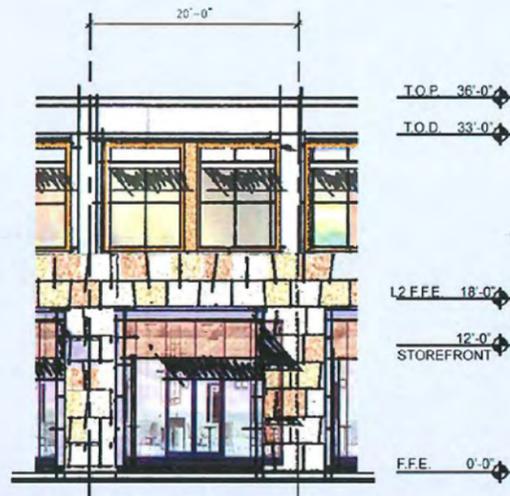
Hill Country Galleria

Village of Bee Cave, Texas



One Story Prototypes

RTKL
A5.2



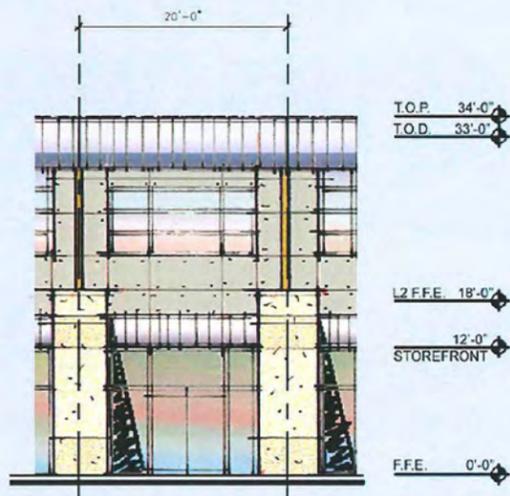
TYPE 2A
 L1 18'-0" FTF.
 L2 14'-6" TOS. / 15'-0" TOD.
 TOTAL 33'-0" TOD.
 36'-0" TOP. (3'-0" PARAPET)



TYPE 2B
 L1 18'-0" FTF.
 L2 14'-6" TOS. / 15'-0" TOD.
 TOTAL 33'-0" TOD.
 38'-0" TOP. (5'-0" PARAPET)



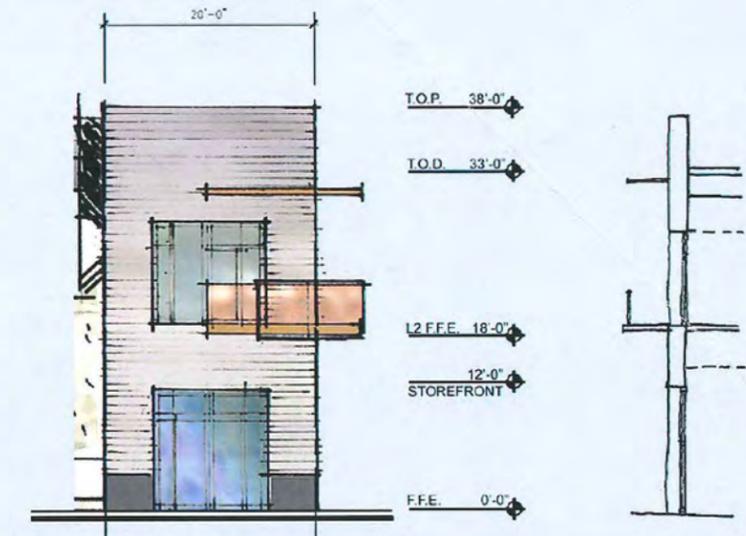
TYPE 2C
 L1 18'-0" FTF.
 L2 14'-6" TOS. / 15'-0" TOD.
 TOTAL 33'-0" TOD.
 36'-6" TOP. (3'-6" PARAPET)



TYPE 2D
 L1 18'-0" FTF.
 L2 14'-6" TOS. / 15'-0" TOD.
 TOTAL 33'-0" TOD.
 34'-0" TOP. (1'-0" PARAPET)



TYPE 2E
 L1 18'-0" FTF.
 L2 14'-6" TOS. / 15'-0" TOD.
 TOTAL 33'-0" TOD.
 33'-0" TOP. (NO PARAPET)



TYPE 2F
 L1 18'-0" FTF.
 L2 14'-6" TOS. / 15'-0" TOD.
 TOTAL 33'-0" TOD.
 38'-0" TOP. (5'-0" PARAPET)

Scale: 1/8" = 1'0"

Hill Country Galleria

Village of Bee Cave, Texas



Two Story Prototypes

RTKL

A5.3

Exhibit "C"

PROPOSED PLANNED DEVELOPMENT STANDARDS

The following development standards shall be applicable within this Planned Development. To the extent that any of the following standards conflict with other Village Ordinances, the following shall control. All development activity undertaken on the Property (the "Project"), shall comply with the development standards for TC – Town Center Base Zoning District in effect on January 26, 2005 ("The Applicable Town Center Development Standards"), except as modified by Section 14.156 of the Village of Bee Cave Code of Ordinances or as modified herein, and with all other Village zoning, subdivision and construction codes and requirements, except as modified herein. Capitalized terms contained herein shall be defined as indicated in these Planned Development Standards, as reflected on the Concept Plan or as defined in the Village of Bee Cave Code of Ordinances, depending upon context.

1. General Project Design Requirements and Open Space

(a) The Project shall be designed and constructed as an open air mixed use, development that includes retail, restaurants, cinema, office, residential and potentially hotel uses as well as a Village Hall, dedicated open spaces, an outdoor amphitheatre, extensive sidewalks, outdoor eating and seating areas, attractive water features, and a pedestrian trail system as depicted on the Concept Plan. The 45% of pervious cover depicted on the Concept Plan, which includes dedicated parkland and trail systems is sufficient to meet the open space requirements for the District, although this open space will include improved trails, transplanted trees and other landscaping improvements.

2. Building Height

(a) The Anchor Tenant building, Cinema building, and corner tower architectural elements of buildings may have a maximum height of 60 feet;

(b) Hotel and residential buildings shall have pitched roofs and shall not exceed 60 feet in height if constructed as four (4) stories or 50 feet in height if constructed as three (3) stories.

(c) The Village Hall may have a maximum height of 60 feet with a roof design approved by the Board of Aldermen in its discretion in conjunction with approval of the Site Plan;

(d) Parking garages shall have a maximum height of 45 feet, provided that the Board of Aldermen shall have the discretion to approve a garage height of up to 50 feet in conjunction with approval of the Site Plan;

(e) Hotel and residential buildings may be a maximum of four (4) stories high; and

(f) Building heights shall be measured from the ground level of the finished grade to the roof ridge or parapet top.

3. Building Floor Area

(a) The Cinema building may have a maximum Building Footprint area of 69,000 square feet; The term "Building Footprint" as used in this Ordinance shall mean the gross area in square feet of the ground floor of any building measured from outside wall to outside wall;

(b) The Anchor Tenant building may have a maximum Building Footprint area of 100,000 square feet;

(c) The Anchor 2 Tenant building may have a maximum Building Footprint area of 85,000 square feet.

(d) The maximum Building Footprint for each structured parking garage depicted as Parking Garages A1, A2, B1 and B2 on the Concept Plan shall not exceed 75,000 square feet per structure. The maximum Building Footprint for each structured parking garage combined with the residential structures and depicted as Future Phases A,B,C, and D shall not exceed 75,000 square feet per combined residential and garage structure if constructed as four (4) stories, or 85,000 square feet per combined residential and garage structure if constructed as three (3) stories.

(e) The maximum Building Footprint area allowed for any other building not referenced herein is 50,000 square feet.

4. Construction Standards for Facades of Buildings, Retaining Walls and Parking Garages

(a) In addition to the materials permitted in Section 14.195(b)(1)(B) of the Village Code of Ordinances, building facades, parking garages and retaining walls are permitted to be faced with metal panels, synthetic stone or brick of like quality and appearance as natural stone or brick, commercial grade stucco, and/or synthetic exterior insulation and finish systems ("EIFS"). Painted wood or synthetic material with like quality and appearance as painted wood is permitted on the Anchor 2 Tenant Building and may be permitted on other buildings in the Board or Aldermen's sole discretion in conjunction with approval of the Site Plan. Building walls and screening walls in service and dumpster areas which are shielded from public view may be faced with painted concrete.

(b) Parking garages may also be faced with precast concrete panels (which may be painted).

(c) Exterior walls may have a maximum surface area of forty percent (40%) covered in glass. No banded or curtain wall windows shall be allowed.

5. Concept Plan and Site Plan Depictions of Buildings, Parking Garages and Exterior Building Design Standards

(a) In order to accommodate the phasing of development and/or allow tenants and other building users the opportunity to provide input into the final building design, buildings and parking garages may be depicted on the Concept Plan or Site Plan without depiction of front, side, and rear architectural elevations; however, such elevations shall be submitted for approval in conjunction with approval of the Site Plan for the phase of development in which such building or parking garage is to be constructed.

(b) Parking garages shall include architectural reveals, shadow lines, embellishments and vertical articulation of the upper level profiles at minimum spacing of every 50 feet in order to provide an acceptable aesthetic appearance of the garages as viewed from the Galleria Parkway. The Landscape Plan shall include obscuring vegetation for the parking garages.

(c) The massing, variation, articulation, offsets/insets, aesthetic detailing and other Exterior Building Design details for the Anchor Tenant, Anchor 2 Tenant Building and Cinema Building shall be either 1) as depicted in the elevations of these buildings and approved with the Concept Plan, 2) as depicted in alternate elevations approved by the Board of Aldermen in its sole discretion in conjunction with approval of the associated Site Plan or 3) designed in conformance with the Exterior Design Standards provided in Chapter 14 of the Village Code of Ordinances. The elevations of parking garages and the Village Hall shall be submitted for approval by the Board of Aldermen in its sole discretion in conjunction with approval of the Site Plan. All other buildings in the Project shall conform to the Village's Exterior Building Design Standards provided in Section 14.195(c) of the Village of Bee Cave's Code of Ordinances, unless the Board of Aldermen in its sole discretion approves an alternate design in conjunction with approval of the Site Plan. In conjunction with approval of the Site Plan, the Board of Aldermen has authority to approve a building design which deviates from the Village's Exterior Building Design Standards if the Board determines in its sole judgment that an alternate design adequately meets the intent of the Village's Exterior Building Design Standards.

(d) Section 14.195(c)(9) of the Village's Code of Ordinances shall not be applicable to the Project, but rather sidewalks and pedestrian spaces shall be located as generally depicted in the Concept Plan to accommodate a traditional main street style design which is open and inviting to pedestrians and accommodating to street front retail.

6. Parking Areas

(a) Parking requirements for phases 1 through 8 of the Project shall be based on and calculated for the overall Project within phases 1 through 8 without regard to the number of platted lots, the use of a particular building or the proximity of such parking spaces to a particular building, and without regard to a particular buildings' Gross Floor Area. A maximum of 4,850 parking spaces shall be allowed for phases 1 through 8 of the Project. Compact spaces shall be allowed. No minimum number of parking spaces is required for phases 1 through 8 of the Project. The maximum number of parking spaces allowed for

residential buildings (including apartments, condominiums and town homes) in subsequent phases is one parking space per bedroom or two spaces per residential units whichever is less. The number of parking spaces for all other phases and uses shall comply with Section 14.191(f) and 14.191(g) of the Village Code of Ordinances.

(b) In conjunction with approval of the Site Plan and in an effort to preserve clusters of existing trees, the Board of Aldermen may in its discretion approve parking spaces located up to 100 feet from trees or landscaped areas.

(c) Parking area light poles may be a maximum of 23 feet in height, excepting that 1) the light poles on the perimeter of the Development are limited to a maximum of 18 feet in height and 2) light poles on the roadway between the Anchor Tenant Building and Anchor 2 Tenant Building and on the roadway which connects the Village Hall to SH 71 and the Galleria Parkway must have decorative fixtures and be no more than 12 feet in height. Bases for light poles may be constructed of concrete (which may be painted).

(d) Vehicle stopping devices such as wheel stops are not required in parking or loading areas bordered by a curb in which the vehicle overhang area will not interfere with landscape plantings, landscape features or the minimum sidewalk width required by the Village Code of Ordinances.

(e) Standard parking spaces shall be sized at nine feet (9') by eighteen feet (18') regardless of parking lot configuration, provided however that smaller "compact spaces" at specified locations may be approved in conjunction with approval of the Site Plan. Compact spaces shall not be located adjacent to the Village Hall building.

7. Location of Water Quality and Detention Ponds

(a) Project water quality and detention ponds may be located as depicted on the Concept Plan.

8. Impervious Cover and Non-Point Source Pollution Control Standards for Water Quality Controls

(a) Impervious cover for all development in the PD District is allowed up to a maximum of 55 percent of the PD District area.

(b) Water Quality Controls for the Project shall be Retention/Irrigation Systems which are sized and designed in conformance with the current Sections 1.6.4.E and 1.6.7.D of the City of Austin Environmental Criteria Manual, attached as Exhibit 1 to this Exhibit C, except as modified by the Village of Bee Cave TCSS Manual. Water Quality Controls meeting such sizing and design criteria are deemed to meet or exceed the Chapter 13, Village Code of Ordinances required 95% performance standards for Removal of Annual Pollutant Loads. The volume of runoff (water quality volume) to be captured by each water quality control required by this standard shall be determined using the runoff depths shown in Table 1-12 attached as Exhibit 1(a) to this Exhibit C.

(c) All other requirements of Chapter 13 of the Village Code of Ordinances are applicable to the Project except as modified herein.

9. Permitted Uses In the District In Addition to TC District Permitted Uses

(a) The following uses are permitted by right as Additional Uses (the singular may include the plural):

- Amusement Devices/Arcade
- Amusement services indoors
- Amphitheater Music and Performing Arts venue
- Auto Financing and Leasing (Indoor)
- Bike Sales and/or Repair
- Centralized Propane distribution facility for District users
(provided that commercial natural gas service is not reasonably available)
- Check Cashing Service
- Child Day Care
- Contractor's temporary on-site construction office and temporary concrete plant
- Credit Union
- Dance Hall/Dancing Facility
- Department store
- Electrical Generating Plant
- Electrical Substation
- Electrical Transmission Line
- Exhibition Hall
- Extended Stay Hotel/Motel
- Food or grocery store
- Garden shop
- Gas Transmission Line
- Kiosks
- Locksmith
- Minor Medical Emergency Clinic
- Market
- Multi-Family Residential (including apartments and condominiums)
- Pharmacy
- Public Garage/Parking Structure
- Retail shop and general retail sales
- School, Vocational
- Spa
- Specialized hardware/home furnishing store

(b) Retail heated and air-conditioned Gross Floor Area is permitted up to a maximum of 650,000 square feet, for the first 1,000,000 square feet of heated and air conditioned Gross Floor Area developed in the PD District. For development in excess of 1,000,000 square feet of heated and air conditioned Gross Floor Area, retail heated and air-conditioned Gross Floor Area is permitted up to a maximum of 50% of the Project heated and air-conditioned Gross Floor Area or 650,000 square feet whichever is greater. Residential heated and air conditioned Gross Floor Area shall not exceed 300,000 square feet plus up to an additional 60 "For Sale" town home style units which provide screening for parking garages. The 60 "For Sale" Town Home units are not subject to the 300,000 square foot limitation on residential Gross Floor Area. Total heated and air conditioned square footage for all buildings in the District shall not exceed 1,500,000 square feet, exclusive of hotel square footage or 1,600,000 square feet inclusive of hotel square footage.

(c) Uses, building sizes and height limitations for development located on the area described as the Staats Property on the Concept Plan will adhere to the permitted uses and requirements for NS – Neighborhood Service as designated in the Village's Current Code of Ordinances, except that restaurants, pharmacies and banks shall be permitted as a matter of right.

10. Landscaping

(a) No minimum pervious area is required for trees planted within tree grates and landscape areas located along and within sidewalks, drives and roadways within the Project if approved by a certified arborist or a landscape architect.

(b) Tree trunks may be located less than five (5) feet from paving or curbs if a certified arborist or landscape architect certifies to the Village that the proximity of the curbing or pavement is not likely to harm the tree.

(c) Removal of trees is permitted as reflected in the Tree Preservation/Concept Landscape Plan incorporated in the Concept Plan, provided however, that trees targeted for removal shall be relocated to the maximum extent feasible. A minimum of 1,600 caliper inches scheduled for removal shall be relocated or replaced with trees of six inch (6") caliper trees or greater. Relocated trees may be moved to the highway frontages including the north and south highway frontages of Highway 71, RR620 and FM 2244. Trees shall not be relocated to the interior area of the Staats property unless approved in advance by the Village. A tree relocation plan shall be submitted to the Village for review and approval prior to Village approval of the Site Construction Plan.

(d) Landscaping may be provided as described in a detailed landscape plan which is submitted by a certified landscape architect and approved by the Board of Aldermen in conjunction with Site Plan approval (the "Approved Landscape Plan"). To the extent there is any conflict between the Approved Landscape Plan for the Project and any other Village landscape ordinance, the requirements of the Approved Landscape Plan shall control.

Subject to approval from TxDOT, the oak tree at RR 620 and Highway 71 shall be relocated to the Village Hall site. This shall not be a requirement if a certified arborist selected by the Village determines that the tree because of its size or health can not be successfully relocated in a manner that would reasonably guarantee its continued survival. If the tree can not be moved, a mature oak tree shall be planted at the Village Hall site to be approved as part of the Approved Landscape Plan.

11. Off Street Loading

(a) Loading areas and service entrances may face public streets if substantially screened by screening walls and/or landscaping. Such screening walls, if used, shall have color variation, shadow lines or associated landscaping.

12. Roadway Improvements

(a) Development in the PD District shall include construction of turn lanes into and out of the Project along Hwy 71, RR 620 and FM 2244, including new or modified signal lights. The newly constructed turn lanes and signals shall be completed prior to issuance of the first Certificate of Occupancy (“CO”) for any building in the PD District; except for the buildings shown on the Concept Plan and located on the Stats property. Final design of the improvements shall be subject to TxDOT approval. Site plans and Preliminary Plats may be approved and building permits issued for buildings in the PD District prior to final engineering plans for such roadway improvements being approved by TxDOT and submitted to the Village. However, all building permits on the Project may be suspended and no further building permits issued if TxDOT does not approve these roadway improvements by January 1, 2006, unless the Board of Aldermen in its discretion extends this January 1, 2006 deadline.

(b) A public roadway between FM 2244 and RR 620 (the Galleria Parkway) generally as shown on the Concept Plan shall be constructed and offered for dedication to the Village prior to the issuance of the first CO for a building in the PD District. The Galleria Parkway shall be constructed according to the Village TCSS requirements, except that additional grading may be provided within the applicable setback as may be approved by the Village Engineer. A public utility easement shall be dedicated along the Galleria Parkway free and clear of any liens or encumbrances in a form reasonably acceptable to the Village.

13. Other Requirements

(a) Building pads, including foundations, may be constructed without immediate construction of associated buildings to accommodate coordinated construction of all site work including construction of pads, driveways, and parking areas, provided that any such pad shall be landscaped if construction of associated buildings does not begin within six months of completion of the building pad. Once exterior walls of a building are completed, all exterior architectural features of the building must be completed within 180 days of the date the walls are constructed.

- (b) In the event that construction of any building or pad site is discontinued for more than 180 days, the site shall be cleared of construction materials and abandoned improvements and revegetated at Developer's expense, unless the Board of Aldermen in its discretion provides an extension to the deadline.
- (c) Pedestrian passages and paseos between buildings may be as narrow as 18 feet wide and vehicular passages between buildings may be as narrow as 30 feet wide if constructed in accordance with the approved Concept Plan. The spaces restricted from public access between the cinema and surrounding buildings and the spaces between structured parking garages and surrounding buildings are exempt from minimum width requirements provided all fire and safety related building code requirements are met as determined by the Village Administrator.
- (d) Sidewalks are not required adjacent to public or private roads located along the perimeter of the Project, except as depicted on the Concept Plan.
- (e) Water Quality and Detention ponds as depicted on the Concept Plan are not required to be screened if designed with landscaping to function as a water feature with views available to ponds, plantings, trails and site furnishings. Additional exemptions from screening requirements or alternate screening plans may be approved by the Board of Aldermen in its discretion in conjunction with approval of the Site Plan.
- (f) Streets, driveways, alleys and parking lots may be paved with asphalt, provided that coal tar sealants are not used.
- (g) Construction Traffic Control Plans shall be submitted and approved by the Village Administrator prior to the issuance of the first building permit. Highway 71 improvements shall not be commenced until such time as the Galleria Parkway is within sixty (60) days of completion of construction as certified by the Village Engineer.
- (h) The posting of fiscal security for construction of Public Improvements shall not be required if such improvements are constructed and accepted or approved by the Village prior to approval of the Final Plat.
- (i) Building Permits may be issued prior to construction of all public improvements or approval of the Final Plat. Certificates of occupancy may not be issued until all required public improvements including highway improvements are constructed, and the Final Plat is approved for the lot on which the building is located.
- (j) "Minor Modifications" of the Concept Plan and/or Site Plan for the Project may be approved administratively by the Village Administrator provided such modifications would not otherwise result in a violation of the Village's Code of Ordinances as modified by these Development Standards, and provided further that modifications to the architectural elevations of buildings and parking garages previously approved by the Board must be also specifically approved by the Board of Alderman. "Minor Modifications" are defined as:

- (1) adjustments of no more than 100 feet to the location or configuration of roadways, sidewalks, utilities, parking areas, buildings, landscape features, (including plants and trees,) ponds and any other improvements depicted on the Concept and/or Site Plan;
 - (2) adjustments of no more than five percent (5%) in building square footage of any individual building to be constructed as part of the Project as compared to such building's initial square footage shown on the Concept Plan or Site Plan; provided no such change may be administratively approved if the change would cause the Project to exceed the limitations on impervious cover, height or floor area specified in these Planned Development Standards;
 - (3) a reduction in size of parking lot areas or structured parking garages;
 - (4) adjustments of no more than ten percent (10%) of the total square footage of all landscape areas as compared to the square footage shown on the Tree Preservation/Landscape Concept Plan or Landscape Plan approved in conjunction with the Site Plan, provided no such change may be administratively approved if the change would cause the Project to exceed the limitations on impervious cover in these Planned Development Standards; or
 - (5) adjustments of no more than ten percent (10%) of the number of parking spaces or square footage of parking areas as shown on the Concept Plan or Site Plan provided no such change may be administratively approved if the change would cause the Project to exceed the limitations on impervious cover or the maximum or minimum number of parking spaces specified in these Planned Development Standards.
- (k) Streets and roadways constructed within the Project, save and except for the Galleria Parkway, shall not be deemed to create street yards or any other set backs or construction requirements applicable to public streets or roadways, whether or not such streets or roadways are dedicated or conveyed for public use. The Galleria Parkway shall be exempt from street yard and other setback requirements with respect to buildings and improvements already in existence as of January 10, 2005, provided the Village engineer approves the location of the Galleria Parkway with respect to such existing improvements.
- (l) To the extent reasonably feasible, truck deliveries to the Project and construction traffic shall be limited to off-peak hours.
- (m) Reasonable efforts shall be required to limit truck traffic impacts from construction to the extent feasible to avoid traffic stopping on Hwy 71, FM 2244, and RR 620. Construction traffic or staging shall not be allowed on or across the Staats property except as necessary to construct improvements on the Staats property.
- (n) Roof mounted mechanical equipment shall be shielded from public view from Bee Cave Road, Highway 71 or Highway 620. Roof mounted mechanical equipment

shall be shielded from view from the Galleria Parkway as the Board of Aldermen determines is necessary in conjunction with its approval of the Site Plan.

(o) The minimum distances between driveways accessing Highway 71 and the Galleria Parkway are approved as depicted on the Concept Plan.

(p) For purposes of determining compliance with Village ordinances, the entire District shall be treated as a single lot, regardless of the number of lots platted within the District and regardless of dedication of property within the District to the Village or any other governmental entity.

(q) Developer shall be responsible for development and maintenance of a litter management and control program for the Project which program shall be subject to review and approval by the Village.

(r) If retaining walls are constructed they shall be faced with natural stone or brick or synthetic stone of like quality and appearance. The Project shall include pedestrian connectivity between the various shops, periodic fountains, bicycle racks and sitting areas which shall be incorporated throughout the Project. Landscaping and architectural amenities as generally depicted in the RTKL, Concept Board entitled Landscaping and Hardscape, attached hereto as Exhibit 2 and incorporated herein, shall be used throughout the Project and shall be designed to blend with natural Hill Country landscape and Texas Hill Country style architecture. The areas around the Project and the water amenity ponds depicted on the Concept Plan as ponds that will constantly contain water shall be designed to be an attractive destination area for families with amenities typical of a public park including tables, benches and covered eating areas.

(s) Signage depicted on the Concept Plan is not approved by this Ordinance. Signage shall be considered for approval by a separate application submitted and considered in accordance with Chapter 10, the Village Sign Ordinance, as amended from time to time.

(t) Prior to the approval of any building permits for vertical construction on the Project, the developer shall cause the conveyance of good and indefeasible title in and to 50 contiguous acres of land within the Village limits to the Village. The conveyance of the 50 acres must be by special warranty deed in form and content acceptable to the Village and must be free and clear of any and all liens, easements which the Village believes may adversely affect the future use of the 50 acres and other encumbrances. As part of such conveyance the Village will receive an owner's title insurance policy insuring that the Village has good and indefeasible title subject only to exceptions which the Village may approve. The policy shall be in an amount equal to the fair market value of the 50 acres at the time of conveyance. This land is being conveyed in order to increase the percentage of impervious cover allowed for construction of the Project to 55%.

EXHIBIT 1

EXHIBIT 1
10/04/04
04 OCT -4 PM 2:15

RULE NO.: R161-04.19

NOTICE OF RULE ADOPTION

**ADOPTION DATE:
October 4, 2004**

By: Joseph G. Pantaloni, P.E., Director
Watershed Protection and Development
Review Department

The Director of the Department of Watershed Protection and Development Review has adopted the following rule. Notice of the proposed rule was posted on July 6, 2004. Public comment on the proposed rule was solicited in the July 6, 2004 notice. This notice is issued under Chapter 1-2 of the City Code. The adoption of a rule may be appealed to the City Manager in accordance with Section 1-2-10 of the City Code as explained below.

EFFECTIVE DATE OF ADOPTED RULE

A rule adopted by this notice is effective on November 5, 2004.

TEXT OF RULE

This rule adopts criteria for retention and irrigation systems.

A copy of the complete text of the adopted rule, the changes from the proposed rule, and an explanation of the changes is available for public inspection and copying at the following locations. Copies may be purchased at the locations at a cost of ten cents per page:

Department of Watershed Protection and Development Review,
located at 505 Barton Springs Road, second floor, and

Office of the City Clerk, City Hall, located at 124 West 8th Street, Austin, Texas.

The following changes were made to address the comments received:

Section 1.6.3C4c The phrase "for privately maintained facilities" was removed so that the requirement for equipment testing is also applicable to facilities maintained by the City.

SUMMARY OF COMMENTS

Written comments were received from Jim Scaief, P.E. The comments that resulted in a change to the rule are summarized below. Some comments received did not result in a change to the text of the rule. The following changes were made to address comments received:

Section 1.6.3C4c The phrase "for privately maintained facilities" was removed so that the requirement for equipment testing is also applicable to facilities maintained by the City.

Section 1.6.7.D.2.a.iii - The phrase "The pumps must be non-clog submersibles" was removed in agreement that non-clog pumps are not appropriate for this use.

Section 1.6.7.D.2.a.v - The Phrase "or submersible transducers" was added for clarification purposes.

Section 1.6.7.D.2.b.ii - Text allowing a waiver of the two foot requirement was added for clarification.

Section 1.6.7.D.2.b.iii - The requirement for rails was replaced with more generic language allowing options for the system to be used for pump removal.

Section 1.6.7.D.3.g - The phrase "For publicly maintained systems" was added to the language requiring fencing and restrictive signage for irrigation areas, allowing commercial developers discretion for the uscs to be allowed in privately maintained systems.

Section 1.6.7.D.3.h - The phrase "A site visit must be conducted by the City to confirm soil conditions" was replaced with "A site visit may be conducted by the City to confirm soil conditions" to removed project schedules from dependence on City staff.

AUTHORITY FOR ADOPTION OF RULE

The authority and procedure for adoption of a rule to assist in the implementation, administration, or enforcement of a provision of the City Code is provided in Chapter 1-2 of the City Code. The authority to regulate water quality requirements is established in Section 25-8-213 of the City Code

APPEAL OF ADOPTED RULE TO CITY MANAGER

A person may appeal the adoption of a rule to the City Manager. **AN APPEAL MUST BE FILED WITH THE CITY CLERK NOT LATER THAN THE 30TH DAY AFTER THE DATE THIS NOTICE OF RULE ADOPTION IS POSTED. THE POSTING DATE IS NOTED AT THE END OF THIS NOTICE.** If the 30th day is a Saturday, Sunday, or official city holiday, an appeal may be filed on the next day which is not a Saturday, Sunday, or official city holiday.

An adopted rule may be appealed by filing a written statement with the City Clerk. A person who appeals a rule must (1) provide the person's name, mailing address, and telephone number; (2) identify the rule being appealed; and (3) include a statement of specific reasons why the rule should be modified or withdrawn.

Notice that an appeal was filed will be posted by the city clerk. A copy of the appeal will be provided to the City Council. An adopted rule will not be enforced pending the City Manager's decision. The City Manager may affirm, modify, or withdraw an adopted rule. If the City Manager does not act on an appeal on or before the 60th day after the date the notice of rule adoption is posted, the rule is withdrawn. Notice of the City Manager's decision on an appeal will be posted by the city clerk and provided to the City Council.

On or before the 16th day after the city clerk posts notice of the City Manager's decision, the City Manager may reconsider the decision on an appeal. Not later than the 31st day after giving written notice of an intent to reconsider, the City manager shall make a decision.

CERTIFICATION BY CITY ATTORNEY

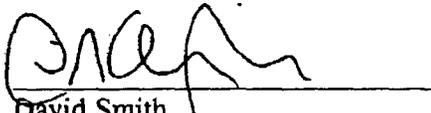
By signing this Notice of Rule Adoption (R161-04.19), the City Attorney certifies that the City Attorney has reviewed the rule and finds that adoption of the rule is a valid exercise of the Director's administrative authority.

REVIEWED AND APPROVED



Joseph G. Pantalion, P.E., Director
Department

Date: 10/4/04



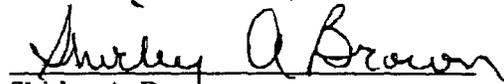
David Smith
City Attorney

Date: 10/4/04

This NOTICE OF ADOPTION was posted on a central bulletin board at City Hall on the following date and time:

Date: 10-04-04

Time: 2:15 PM



Shirley A. Brown
City Clerk

TEXT OF PROPOSED RULE

The Environmental Criteria Manual is amended to add a new Section 1.6.3 C 4 to read:

1.6.3 Maintenance and Construction Requirements

C. Major Maintenance Requirements

4. Retention-Irrigation Systems

- a) Sediment must be removed from the retention basin, splitter box and wet wells, when accumulations exceed 6" in depth.
- b) To the greatest extent practicable, irrigation areas are to remain in their natural state. However, vegetation must be maintained in the irrigation area such that it does not impede the spray of water from the irrigation heads. Tree and shrub trimmings and other large debris must be removed from the irrigation area in order to harvest and remove nutrients from the system. See requirements in 1.6.7.D.3.g. and h. regarding requirements for soil and vegetation in irrigation areas.
- c) The pumps and irrigation system must be inspected or tested a minimum of six times per year to show all components are operating as intended. In particular, sprinkler heads must be checked to determine if any are broken, clogged, or not spraying properly. All inspection and testing reports must be kept on site and accessible to the City of Austin.

The Environmental Criteria Manual is amended to add a new Section 1.6.4. E to read:

1.6.4. Types of Water Quality Controls and Selection Criteria

E. Retention/ Irrigation Systems

Retention/Irrigation systems are designed to capture the required water quality volume and irrigate it on a designated area over a specified period of time following a rain event. This method of treatment may be used to comply with the requirements for meeting the non-degradation standards applicable in the Barton Springs Zone found in Section 1.6.9.3 of the Environmental Criteria Manual.

The Environmental Criteria Manual is amended to add a new Section 1.6.7. D to read:

1.6.7 Alternative Water Quality Controls

D. Retention/Irrigation Systems. A retention/irrigation water quality treatment system consists of two primary components: (1) a basin which captures and isolates the required volume of stormwater runoff; and (2) a distribution and land application system which generally utilizes pumps, piping and spray irrigation components. When properly designed, this system is effective in removal of pollutants through settling in the retention basin and contact with vegetation, air and soils in the irrigation process, as well as in mitigating streambank erosion as required by Section 1.6.8 of the ECM. The effectiveness of this BMP at meeting required pollutant removal efficiencies is based upon the following criteria being met.

1) Minimum Design Criteria for the Retention Basin

Information on water quality volume, diversion structures, and lining requirements can be found in the Environmental Criteria Manual Section 1.6.2, General Design Guidelines. In addition, applicable requirements of Section 1.6.3, Maintenance and Construction Requirements must be incorporated in the design.

- a) Retention Basin Volume. The basin must be of sufficient size to capture and hold the required capture volume. Retention basins are designed to capture and hold the water quality volume routed to them via diversion structures. For development in the Barton Springs Zone, refer to Environmental Criteria Manual Section 1.6.9.3 (E) for the required capture volume.
- b) 100-Year Storm. A bypass capable of conveying the 100-year storm around the basin must be provided.
- c) Lining. A liner may be required for a retention basin in accordance with Section 1 of the ECM. The liner must be designed in accordance with Environmental Criteria Manual Section 1.6.2 C, Basin Liners.

- d) Erosion Prevention. The inlets to the retention basin must be designed to prevent erosion of the soil and liner. Rock rip-rap or other erosion prevention systems must be placed at the basin inlet to reduce velocities to less than 3 feet per second.
 - e) Access Ramp. A maintenance access ramp, as described in Environmental Criteria Manual Section 1.6.3, is required for all facilities.
- 2) Minimum Design Criteria for Wet Well and Pumps.
- a) Pumps.
 - i) The retention basin must be emptied by pumping within 72-hours after a rain event ends. Emptying of the retention basin must not begin sooner than 12 hours after the end of the rainfall event.
 - ii) Pumps must be capable of delivering the required volume of water at the necessary rate and pressure to the irrigation system in the designated time period. Pumps and wet well must be sized to minimize the number of on and off cyclings of the pumps.
 - iii) A dual pump system must be provided, with each pump capable of delivering 100% of the design capacity. Plug valves must be located out side the wet well on the discharge side of each pump to isolate the pumps for maintenance and for throttling if necessary. Butterfly valves and gate valves must not be used. Pumps must be selected to operate within 20% of their best operating efficiency.
 - iv) The pumps must alternate on start up. A manual control must be provided so both pumps can be turned on if necessary. A high/low-pressure pump shut off system (in case of line clogging or breaking) shall be installed in the pump discharge piping.
 - v) Float controls or submersible transducers must be provided to control operation of the pumps. Three control settings must be used: (1) one for starting the pump, (2) one for shutting off the pump at the normal low water level, and (3) one for back up shut off of the pump in case the first shut-off fails.

vi) An alarm system shall be provided consisting of a red light located at a height of at least 5 feet above the ground level at the wet well. The alarm shall activate when:

1. the high water level has been maintained in excess of 72 hours.
2. the water level is below the shutoff float and the pump has not turned off.
3. the high/low-pressure pump shut off switch has been activated.

The alarm must be vandal proof and weather resistant. If the system is to be privately maintained, a sign must be placed at the wet well clearly displaying the name and phone number of a responsible party that may be contacted if the alarm is activated.

b) Wet Well.

- i) A separate wet well outside of the basin must be provided for the pumps. The wet well must be constructed of precast or cast in place concrete. Complete access to the pumps and other internal components of the wet well for maintenance must be provided through a lockable cover. An isolation plug valve to prevent flow from the retention basin to the wet well during maintenance activities must be provided.
- ii) Calculations must be provided with the design showing that the wet well will not float under saturated -soil conditions. The top elevation of the well must be at or higher than the walls or berms enclosing the retention pond. The wet well and pump must be designed to be low enough to completely evacuate the retention pond and a space of at least two feet must be available below the bottom of the pump. The two foot minimum space below the bottom of the pump may be waived if the applicant demonstrates that adequate filtration of the water quality volume is provided.

The pump installation in the wet well and access to the wet well must be designed to allow the pumps to be removed using truck-mounted hydraulic hoist equipment or a portable "A-frame". A system must be provided to allow pump removal without entering the wet well. If rails are used they must be stainless steel.

Intake Riser. Prior to entering the wet well, stormwater must pass through an appropriate intake riser with a screen to reduce the potential for clogging of distribution pipes and sprinklers by larger debris - e.g. cups, cans, sticks. The intake riser and screen shall be designed as shown in Figure 1-54 in the appendices of the Environmental Criteria Manual.

3) Minimum Design Criteria for the Irrigation System.

- a) Irrigation Timing. The retention basin must be emptied within 72-hours after a rain event ends. Irrigation must be initiated no sooner than 12 hours after the rain event ceases. The irrigation controller must be set to provide alternating, equivalent irrigation and rest periods until the basin is emptied. The time of irrigation on any arca must not exceed the rest time. Continuous application on any area must not exceed 2-hours. Division of the irrigation area into two or more sections such that irrigation occurs alternately in each section is an acceptable way to meet the requirement for a rest period.
- b) Irrigation Rate. The rate at which the soil can accept the irrigated storm water must be derived from the permeability listed in the US Department of Agriculture National Resources Conservation Service Soil Survey for the county, location, and soil type verified to be present at the irrigation site. If a range is given, the minimum permeability rate is to be used, not to be less than .03 inches/hour. Other methods of demonstrating site-specific permeability may be approved by the Director.
- c) Irrigation Area. Calculations must be provided which demonstrate that adequate irrigation area will be provided based on the application rate, soil permeability, water quality volume, and the actual irrigation time. For publicly maintained facilities the irrigation area and system must be included within the water quality easement.
- d) Irrigation Area Slope. Irrigation must not occur on land with slopes greater than 10 percent.
- e) Piping and Valves.
 - i) All irrigation system distribution and lateral piping (i.e. from the pumps to the spray heads) must be Schedule 80 PVC. All pipes and electrical bundles

passing beneath driveways or paved areas must be sleeved with PVC Class 200 pipe with solvent welded joints. Sleeve diameter must equal twice that of the pipe or electrical bundle.

- ii) Valves. All valves must be designed specifically for sediment bearing water, and be of appropriate design for the intended purpose. All remote control, gate, and quick coupling valves must be located in ten-inch or larger plastic valve boxes. All pipes and valves must be marked to indicate that they contain non-potable water. All piping must be buried to protect it from weather and vandalism. The depth and method of burial must be adequate to protect the pipe from vehicular traffic such as maintenance equipment. Velocities in all pipelines should be sufficient to prevent settling of solids. The irrigation design and layout must be integrated with the tree protection plan and presented as part of the Site Plan or Subdivision Construction Plan.
- iii) Systems must include a plug valve to allow flushing at the end of every line.
- f) Sprinklers. All sprinkler heads must have full or partial circle rotor pop-up heads and must be capable of delivering the required rate of irrigation over the designated area in a uniform manner. Irrigation must not occur beyond the limits of the designated irrigation area. Partial circle sprinkler heads must be used as necessary to prevent irrigation beyond the designated limits. Sprinkler heads must be capable of passing solids that may pass through the intake. Sprinkler heads must be flush mounted and encased within a 2' x 2' concrete housing capable of protecting the head from mowing and service equipment (See Appendix V, Figure 159-F for an example).
- g) Vegetation. The irrigation area must have native vegetation or be restored or re-established with native vegetation, unless approved by the Director. These areas must not receive any fertilizers, pesticides, or herbicides. If landscaped areas are used for irrigation, fertilizers, pesticides, or herbicides must not be applied to those areas and this limitation must be outlined in the Integrated Pest Management (IPM) plan. For publicly maintained systems, fencing or signs must be installed to limit unauthorized use of the irrigation area. If signs are installed they must include the phrase "Stormwater Irrigation Area – No Trespassing".

- h) Soil. A minimum of 12 inches of soil, with the identified permeability rates, must be present in the irrigation area. Soil enhancement is allowed to achieve this requirement. A soils report must be provided and must include at a minimum a soils map verifying soil types in the irrigation area, permeability rates, soil depths, percent of coarse fragments gravel size (2.0 mm diameter) and larger, found on the soil surface and in the subsurface soils, depth of roots, locations of borings or trenches, photographs of exposed soils, location and type of soil enhancement performed, soils testing results, etc. A site visit may be conducted by the City to confirm soil conditions, including when representative trenches have been opened or borings are being conducted. City staff must be given at least 72 hours notice of when borings or trenches are to be backfilled.
 - i) Geological Features. The irrigation area must not contain any Critical Environmental Feature Buffer Zones.
 - j) Irrigation Area Buffer. A buffer area of unirrigated vegetation must be provided downstream of the irrigation area to treat any runoff that may occur from the irrigation area during heavy rainfall or from excessive irrigation. This area must be a minimum of 50 feet in length (in the direction of flow) and be adjacent to all downstream edges of the irrigation area. As an option, a diversion system (e.g. a swale or berm) may be provided to route any runoff to the retention basin. This diversion system must be designed to carry the runoff from the 2-year storm. Alternatively, the irrigation area may be located upstream from the development such that any runoff will be routed to the retention pond.
- 4) Manuals and As-Built Plans.
- a) The Applicant must provide two complete copies of an Operations Manual for the pumps and irrigation system which must include:
 - i) Pump curves, electrical schematics, pump and instrument technical information, components of the control panel, pump maintenance recommendations with required frequencies, irrigation controller operation instructions and a written warranty.

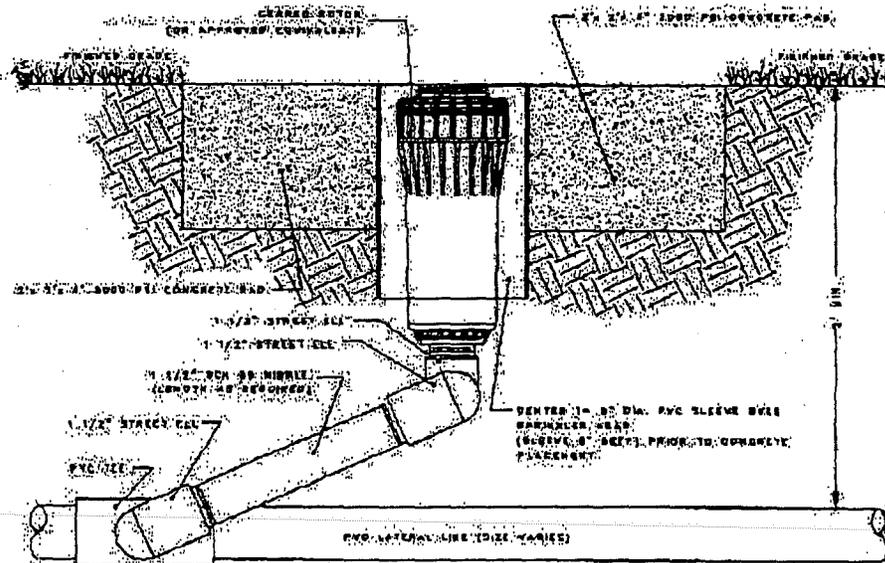
ii) As-built plans of the retention basin, wet well, pumps, piping and irrigation system. The plans must show the location, size, and type of all pipes, valves, wiring, wiring junctions, and sprinkler heads.

For retention-irrigation systems that are to be maintained by the City of Austin, both sets of plans and manuals shall be submitted to the Field Operations Division of the Watershed Protection and Development Review Department.

For systems that are to be maintained privately, one set of plans and one manual shall be included with the Operating Permit Application and the second set of plans and one manual shall be retained on site at all times.

Existing APPENDIX V FIGURES AND DIAGRAMS

Insert new Figure 1-59F - Example of a Typical Sprinkler Head Installation



NOTES:
 SPRINKLER HEADS SHOWN ON THIS SHEET SHALL BE ROTAR SPRAY HEADS (OR APPROVED EQUIVALENT) NO. 101 OR 102, NOZZLE SIZE 1/2\"/>

SPRINKER INSTALLATION DETAIL
 NO. SCALE

Rule R-161-04.19

Summary of comments made by Jim Schaief, P.E. , and City of Austin WPDRD response.

1.6.3C4c:

Comment: Should not all facilities be maintained equally, not just private ones? I presume the City's goal is the same, it just isn't stated here.

Response: Though it is assumed that the City will maintain its facilities to the highest standards, the division responsible for City maintenance has no objection to this clarification.

1.6.7D2aiii: *The pumps must be non-clog submersibles.*

Comment: Non-clog pumps are designed for high flow low head situations and may not provide the pressure that irrigation systems have to deliver. We have found that water well pumps provide a much better fit to the flow and head requirements.

Response: The requirement for non-clog type pumps is not appropriate and should be eliminated.

Plug valves must be located outside the wet well on the discharge side of each pump

Comment: Plug valves are good for throttling. However, throttling is only necessary if design is not valid. For isolation use, gate valves are much cheaper, especially in larger sizes.

Response: Plug valves are also important in conditions, which require operation regardless of accumulation of sediment. Accumulation of sediment is expected in the proposed application as well as a need for flow control. Therefore, no change to the current text is recommended.

1.6.7D2av: *Float controls must be provided to control operation of the pumps.*

Comment: We have had success with a submersible transducer and back-up floats for alarm and over-ride protection. This is a good system with redundancy that we use effectively in lift stations.

Response: A submersible transducer is a practical pump control and has been added to the text for clarification.

1.6.7D2avi2: *Re: activation of alarm: the water level is below the shutoff float and the pump has not turned off.*

Comment: There also needs to be a fail-safe for pump shut down in this instance.

Response: The fail-safe in question is already addressed in the previous paragraph, (v)(3). No changes are necessary.

1.6.7D2bi: *An isolation plug valve to prevent flow from the retention basin to the wet well during maintenance activities must be provided.*

Comment: As per previous comment, no throttling is needed here. Gate valve is much cheaper.

Response: Plug valves are also important in conditions, which require operation regardless of accumulation of sediment. Accumulation of sediment is expected in the proposed application as well as a need for flow control. Therefore, no change to the current text is recommended.

1.6.7D2bii: and a space of at least two feet must be available below the bottom of the pump.

Comment: Why? If this is for sediment, our designs with sedimentation-filtration pretreatment precludes this additional expense.

Response: Text allowing waiver of the two foot requirement has been added for clarification.

1.6.7D2biii: Stationary stainless rails must be included to allow pump removal without entering the wet well.

Comment: Rails are for non-clog pumps. With well pumps, rails are not used.

Response: This requirement has been changed to more appropriate generic language, as rails may not always be the best design. Unnecessary language has also been deleted.

1.6.7D3b: Re: irrigation rate: *If a range (permeability) is given, the minimum rate is to be used, ...*

Comment: Why not use an average? It is not likely that a site will consist entirely of the "worst" case. In any case, most irrigation areas have a downstream buffer for tailwater in the likelihood of any runoff.

Response: The permeability source cited provides regional soil data with a range for a given area. Unless permeability is specifically demonstrated for the site, one cannot assume that the soils fall within the average of the range. In past practice, use of the lower limits have not caused the designation of problematically large irrigation areas. Additionally, the requirement in question allows for other methods of demonstrating site specific permeability. No changes are proposed.

1.6.7D3eiii: *Systems must include a plug valve to allow flushing at the end of every line.*

Comment: Per earlier comment, there are cheaper alternatives.

Response: Plug valves are also important in conditions, which require operation regardless of accumulation of sediment. Accumulation of sediment is expected in the proposed application as well as a need for flow control. Therefore, no change to the current text is recommended.

1.6.7D3f: Re: sprinkler heads: *...encased within a 2' x 2' concrete housing*

Comment: Is the concrete necessary? We have found that the swing installation provides adequate protection.

Response: Swing valve installation does not address the issues covered by the concrete pad. Those issues are sprinkler head over growth, damage by mowing equipment, and inability to locate the sprinkler heads. Past maintenance indicates the need for the component in question. No change is proposed.

1.6.7D3g: *Fencing or signs must be installed to limit unauthorized use of the irrigation area. If signs are installed they must include the phrase "Stormwater Irrigation Area – No Trespassing."*

Comment: Isn't this a little harsh? What is the problem with entering the area? We enter effluent irrigation areas. Do we really want to fence off the areas? Why can't people use the area for hiking, etc.? How would you enforce it?

Response: High water pressures at sprinkler heads and vandalism indicate a need to restrict access to publicly maintained systems. As a result of this comment, this need will only be imposed on public infrastructure and left to the discretion of commercial developments.

1.6.7D3h: *A site visit must be conducted by the City to confirm soil conditions, including when representative trenches have been opened or borings are being conducted.*

Comment: What are the ramifications of this? This seems pretty open ended and up to the discretion of the individual reviewer. Will area be discounted and by how much. Ten feet away soil may be optimum, but do we dig everything up to confirm the criteria?

Response: All criteria of concern are specifically spelled out in the text of this entire rule. Site visits are to confirm specified conditions. However a change in text has been made which would remove the projects schedule from dependence on City staff

EXHIBIT 1a

TABLE 1-12

REQUIRED WATER QUALITY CAPTURE VOLUME

Impervious Cover in Drainage Area For Each Water Quality Control	Total Runoff (in.)
0%	0.60
5%	0.69
10%	0.78
15%	0.87
20%	0.96
25%	1.05
30%	1.14
35%	1.23
40%	1.32
45%	1.41
50%	1.50
55%	1.59
60%	1.68
65%	1.77
70%	1.86
75%	1.95
80%	2.04
85%	2.13
90%	2.22
95%	2.31
100%	2.40