

**ORDINANCE NO. 113**

**AN ORDINANCE OF THE CITY OF BEE CAVE, TEXAS (“CITY”) AMENDING THE ZONING OF REAL PROPERTY FROM CURRENT ZONING AS A RETAIL USE DISTRICT TO A PLANNED DEVELOPMENT RETAIL DISTRICT FOR A TRACT OF LAND BEING APPROXIMATELY ACRES 8.60, WHICH LAND IS LOCATED GENERALLY NORTH OF HIGHWAY 71 AND WEST OF HIGHWAY 620 AND SOUTH OF THE PROPOSED BEE CAVE PARKWAY EXTENSION IN THE CITY AND WHICH LAND IS MORE PARTICULARLY DESCRIBED IN EXHIBIT “A” ATTACHED (“PROPERTY”); APPROVING A CONCEPT PLAN AND ASSOCIATED DOCUMENTS, ATTACHED AS EXHIBIT “B” (“CONCEPT PLAN”); PROVIDING SPECIAL DEVELOPMENT STANDARDS AND CONDITIONS, ATTACHED AS EXHIBIT “C” (“PLANNED DEVELOPMENT STANDARDS”), BUILDING ELEVATIONS, ATTACHED AS EXHIBIT “B2”; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR FINDINGS OF FACT, SEVERABILITY, EFFECTIVE DATE, AND PROPER NOTICE AND MEETING.**

**WHEREAS**, the Planning and Zoning Commission and the City Council of the City, in compliance with the laws of the State of Texas, have given the requisite notices by publication and otherwise, and have held two public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and the City Council of the City is of the opinion and finds that said zoning change should be granted and that the Comprehensive Zoning Ordinance and Map should be amended as set forth herein; and

**WHEREAS**, the development proposed by the zoning applicant complies with the current City Ordinances except as modified by the Planned Development Standards contained in this Ordinance; and

**WHEREAS**, any protest made against the proposed change of Zoning Classification has been duly considered by the City Council; and

**WHEREAS**, Sec. 32.03.015 of the City Zoning Ordinance provides that the purpose of a Planned Development District is to provide for the development of land as an integral unit for single or mixed use in accordance with a Concept Plan that may include uses, regulations and other requirements that vary from the provisions of other zoning districts, and to encourage flexible and creative planning to ensure the compatibility of land uses, and to allow for the adjustment of changing demands to meet the current needs of the community; and

**WHEREAS**, one of the purposes of Planned Development District zoning is to provide for rural amenities or features that would be of special benefit to the property users or community and increased recreation opportunities provided by this Development will further this objective within the City;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BEE CAVE, TEXAS:**

**SECTION 1.** Findings of Fact. All of the above premises are hereby found to be true and correct legislative and factual findings of the City and are hereby approved and incorporated into the body of this Ordinance as if copied in their entirety.

**SECTION 2.** Amendment. That the City Zoning Ordinance and Map of the City of Bee Cave, Texas, be and the same are hereby, amended so as to grant a change of zoning from Retail District to Planned Development District with base zoning of Retail for the Property as described in Exhibit "A".

**SECTION 3.** Development. That the Property shall be developed in compliance with this Ordinance, the Concept Plan, attached as Exhibit "B", and the terms and conditions of the City's Code of Ordinances, except as modified by the Planned Development Standards attached hereto as Exhibit "C."

**SECTION 4.** Concept Plan. That the Concept Plan for this Planned Development District which is attached as Exhibit "B" and made a part hereof for all purposes is hereby approved for said Planned Development District as required by Chapter 32, of the Code of Ordinances of the City of Bee Cave, Texas. Any proposed use or development depicted on the Concept Plan shall not be deemed authorized or approved by the City of Bee Cave until a final site plan ("Site Plan") is approved for such use and/or development in accordance with the terms and conditions of Chapter 32 of the Code of Ordinances. Amendments to the Concept Plan may occur in accordance with the requirements of Chapter 32, of the Code of Ordinances, or as provided in Exhibit "C".

**SECTION 5.** Uses. Only those uses specifically described in the Development Standards, attached hereto as Exhibit "C", shall be authorized uses in accordance with the Concept Plan. Any other uses ordinarily allowed in a Retail District shall only be authorized up to 9000 square feet and only in lieu of the 9000 square feet of retail space as described in Exhibit "C", because of the less stringent set back requirements, the size of the facilities and the other favorable Development Standards afforded to this Project. The authority granted by this Ordinance is therefore specific to the Project that has been represented in the applicant's application and as depicted in the Concept Plan, unless same is subsequently amended or modified by approval of the City Council, or unless such changes are authorized by Exhibit "C" to this Ordinance.

**SECTION 6.** Amendments to Development Standards. As referenced in Section 5, all changes or expansions of uses authorized for the Project require an amendment to this Ordinance and to the Concept Plan. However, any changes in the Development Standards, not associated with a change in use, and that are approved by City Council in subsequent site plan or plat approvals shall not require an amendment to this Ordinance. In such cases, Developer shall provide City with updated and accurate Concept Plans reflecting such changes.

**SECTION 7. Expiration.** In the event that construction of the Project is not commenced and diligently pursued to completion prior to December 31, 2017, the Project authorized by this Ordinance shall terminate and the zoning for the Property shall become Retail District zoning. In such event, the Concept Plan and any other approvals associated with the Project shall terminate and be of no further force or effect.

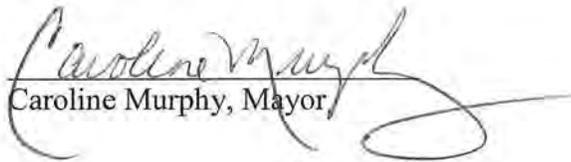
**SECTION 8. Severability.** That should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjusted or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of Chapter 32, Zoning, of the City of Bee Cave Code of Ordinances and Map as a whole.

**SECTION 9. Effective Date.** That this Ordinance shall take effect immediately from and after its passage.

**SECTION 10. Notice and Meeting Clause.** It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government Code.

**PASSED AND APPROVED** by the City Council of the City of Bee Cave, Texas, on the 22nd day of May, 2012.

**CITY OF BEE CAVE, TEXAS**

  
Caroline Murphy, Mayor

**ATTEST:**

  
City Secretary

[SEAL]

**APPROVED AS TO FORM:**

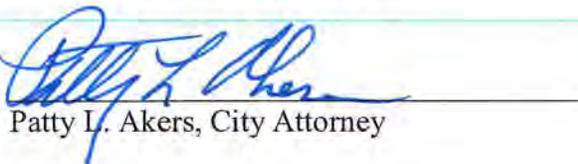
  
Patty L. Akers, City Attorney

Exhibit "A"

**Property Description**

Exhibit "B"

**Concept Plan**



Professional Land Surveying, Inc.  
Surveying and Mapping

Office: 512-443-1724  
Fax: 512-389-0943

3500 McCall Lane  
Austin, Texas 78744

**8.587 AC. HCI TRACT  
CITY OF BEE CAVE  
TRAVIS COUNTY, TEXAS**

A DESCRIPTION OF 8.587 ACRES OF LAND (APPROX. 374,066 S.F.) IN THE I.G. & N. R.R. CO. SURVEY NO. 56 IN TRAVIS COUNTY, TEXAS, BEING A PORTION OF A 44.611 ACRE TRACT (TRACT ONE) CONVEYED TO TIM SKAGGS AND WIFE, BRENDA SKAGGS, BY WARRANTY DEED WITH VENDOR'S LIEN DATED JULY 1, 1993 AND RECORDED IN VOLUME 12007, PAGE 1764 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS; SAID 8.587 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** at a 1/2" rebar with Brittain/Crawford cap found in the east line of the said 44.611 acre tract, being also in the south right-of-way line of Bee Cave Parkway, described in Document No. 2009036806 of the Official Public Records of Travis County, Texas, and being also the northwest corner of Lot 2, Block A, Planet Earth Music, a subdivision of record in Document No. 201000097 of the Official Public Records of Travis County, Texas;

**THENCE** South 12°13'11" East, with the east line of the 44.611 acre tract, being also the west line of said planet Earth Music, a distance of 731.12 feet to a 1/2" rebar with Chaparral cap set, from which a 1/2" rebar found at an angle point in said line bears South 12°13'11" East, a distance of 289.78 feet;

**THENCE** over and across the 44.611 acre tract, the following five (5) courses and distances:

1. South 64°49'18" West, a distance of 195.62 feet to a 1/2" rebar with Chaparral cap set;
2. North 73°16'14" West, a distance of 510.90 feet to a 1/2" rebar with Chaparral cap set;
3. With a curve to the left, having a radius of 330.03 feet, a delta angle of 36°42'34", an arc length of 211.45 feet, and a chord which bears North 06°07'22" East, a distance of 207.85 feet to a 1/2" rebar with Chaparral cap set;
4. North 12°13'56" West, a distance of 245.63 feet to a 1/2" rebar with Chaparral cap set;
5. With a curve to the right, having a radius of 15.00 feet, a delta angle of 90°00'18",

MAR 09 2009

an arc length of 23.56 feet, and a chord which bears North 32°46'13" East, a distance of 21.21 feet to a 1/2" rebar with Chaparral cap set in the south line of said Bee Cave Parkway, from which a cotton spindle found in said line, being in the west line of the 44.611 acre tract, bears South 77°46'22" West, a distance of 1042.25 feet;

**THENCE** with the south line of Bee Cave Parkway, continuing over and across the 44.611 acre tract, the following three (3) courses:

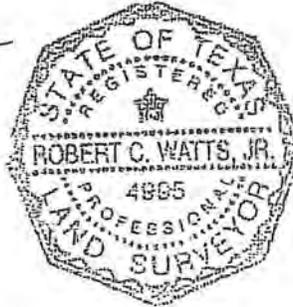
1. North 77°46'22" East, a distance of 160.97 feet to a 1/2" rebar found;
2. With a curve to the left, having a radius of 1075.00 feet, a delta angle of 15°40'18", an arc length of 294.04 feet, and a chord which bears North 69°55'30" East, a distance of 293.12 feet to a 1/2" rebar with Brittain/Crawford cap found;
3. North 62°08'16" East, a distance of 110.08 feet to the **POINT OF BEGINNING**, containing 8.587 acres of land, more or less.

Surveyed on the ground in February, 2012. Bearing Basis: Grid azimuth for Texas Central Zone state plane coordinates, 1983/93 HARN, based on GPS solutions from The National Geodetic Survey (NGS) On-line Positioning User Service (OPUS).

Attachments: Survey Drawing No. 844-001-T11.

*RCW* 3-1-12

Robert C. Watts, Jr.                      Date  
Registered Professional Land Surveyor  
State of Texas No. 4995





# HILL COUNTRY INDOOR CONCEPT PLAN BEE CAVE PARKWAY

HILL COUNTRY INDOOR  
CONCEPT PLAN

SUBMITTED FOR APPROVAL BY:  
LJA ENGINEERING, INC.

*[Signature]*  
S. DANNY MILLER, P.E. #82725  
LICENSED PROFESSIONAL ENGINEER

5-10-12  
DATE



CITY OF BEE CAVE APPROVAL DATE

REVIEWED BY:

CITY OF BEE CAVE DATE

CITY ADMINISTRATOR DATE



LOCATION MAP  
(N.T.S.)

SUBMITTAL DATE: MARCH 09, 2012

**LEGAL DESCRIPTION**  
A 8.60 ACRE PARTIAL SURVEY OF TRACT 1, A 44.611 ACRE TRACT IN THE I.G. & N. R.R. CO. SURVEY NO. 56 AND THE NANCY GIBSON SURVEY NO. 521, IN TRAVIS COUNTY, TEXAS, DESCRIBED IN VOLUME 12007, PAGE 1764 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.

**BENCHMARKS**  
CHAPARRAL CONTROL POINT R398  
1/2 REBAR W/RANDOM TRV CAP SET  
SURFACE COORDINATES: N 10086279.90 E 3045142.67 ELEV=855.61  
TEXAS CENTRAL ZONE STATE PLANE COORDINATES: N 10085377.43 E 3044870.21 ELEV=855.61

**OWNER:** TIM & BRENDA SKAGGS  
13818 W. HIGHWAY 71  
BEE CAVE, TEXAS 78736  
PHONE # (512) 253-2876

**DEVELOPER:** HILL COUNTRY INDOOR  
11715 FM 2244, SUITE 300  
AUSTIN, TX 78738  
PHONE # (512) 743-3553

**ENGINEER:** LJA ENGINEERING INC.  
5316 HIGHWAY 290 W., SUITE 150  
AUSTIN, TEXAS 78735  
CONTACT PERSON: DANNY MILLER, P.E.  
PHONE # (512) 439-4700  
FAX # (512) 439-4716

**ARCHITECT:** RUNA WORKSHOP LLC  
823 CONGRESS AVE. SUITE P-2  
AUSTIN, TEXAS 78701  
CONTACT PERSON: AARON VOLLMER  
PHONE # (512) 540-7387

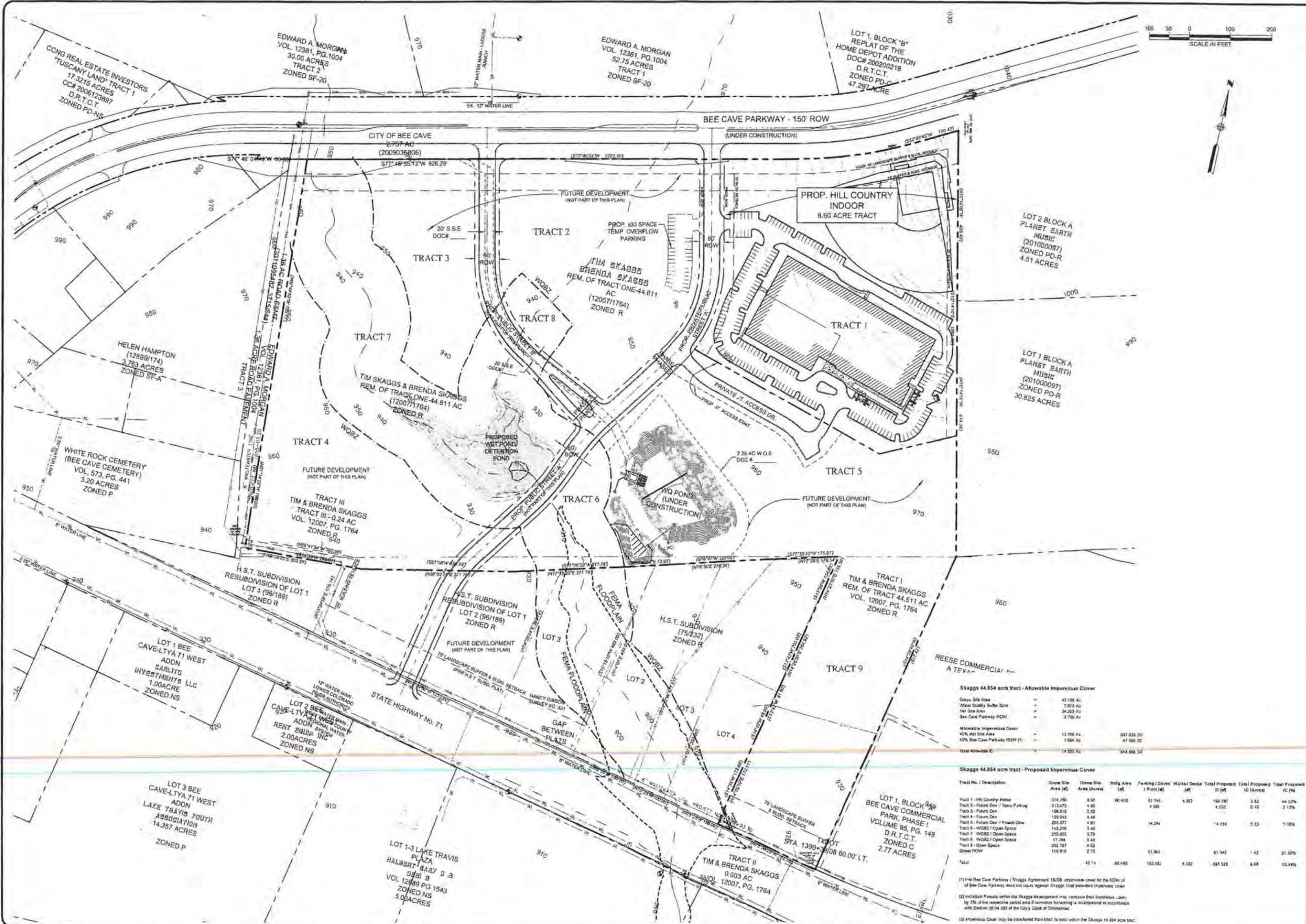
**SURVEYOR:** CHAPARRAL PROFESSIONAL  
LAND SURVEYING, INC.  
3500 McCALL LANE  
AUSTIN, TEXAS 78744  
PHONE # (512) 483-1724  
FAX # (512) 588-0943

- NOTES:**
1. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF BEE CAVE MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
  2. THIS PROJECT IS LOCATED IN THE LITTLE BARTON CREEK WATERSHED. THIS PROJECT IS WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.
  3. THE 100-YEAR FLOOD PLAN IS CONTAINED WITHIN THE DRAINAGE EASEMENTS AS SHOWN HEREON. NO PORTION OF THE IMPROVEMENTS IS WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) # 48430D405 H, TRAVIS COUNTY, TEXAS, DATED SEPTEMBER 26, 2008.
  4. THIS PROJECT IS LOCATED IN THE CITY OF BEE CAVE, TEXAS.
  5. AN NPS PERMIT IS REQUIRED PRIOR TO CONSTRUCTION OF THE SITE.

REVISIONS / CORRECTIONS							
Number	Description	Revised (R) Add (A) Void (V) Sheet No. %	Total # of Sheets in Plan Set	Net Change Imp. Cover (sq. ft.) %	Total Site Imp. Cover (sq. ft.) %	City of Bee Cave Approval Date	Date Imaged

SHEET NO.	DESCRIPTION
01	COVER SHEET
02	OVERALL SITE PLAN
03	SITE PLAN
04	TREE PROTECTION PLAN
05	TREE LIST
06	GENERAL NOTES & DETAILS

**LJA Engineering, Inc.**  
5316 Highway 290 West  
Suite 150  
Austin, Texas 78735  
Phone 512.439.4700  
Fax 512.439.4716  
FRN - F-1386



HILL COUNTRY INDOOR  
CONCEPT PLAN  
OVERALL SITE PLAN

NO.	DATE	REVISIONS	DESCRIPTION



LJA Engineering, Inc.  
Phone 512.436.4770  
5516 Highway 200 West  
Suite 150  
Austin, Texas 78735  
FAX 512.436.4766  
FRN - F-1366

JOB NUMBER: A217-401  
SHEET NO. 2

**Skaggs 44.854 acre tract - Allowable Impervious Cover**

Green Site Area	=	42,136 AC	
Water Quality Buffer Zone	=	7,823 AC	
Net Site Area	=	34,313 AC	
Bee Cave Parkway ROW	=	2,735 AC	
<b>Allowable Impervious Cover</b>			
40% Net Site Area	=	13,726 AC	387,033 SF
40% Bee Cave Parkway ROW (1)	=	1,094 AC	47,866 SF
<b>Total Allowable IC</b>		<b>14,820 AC</b>	<b>544,899 SF</b>

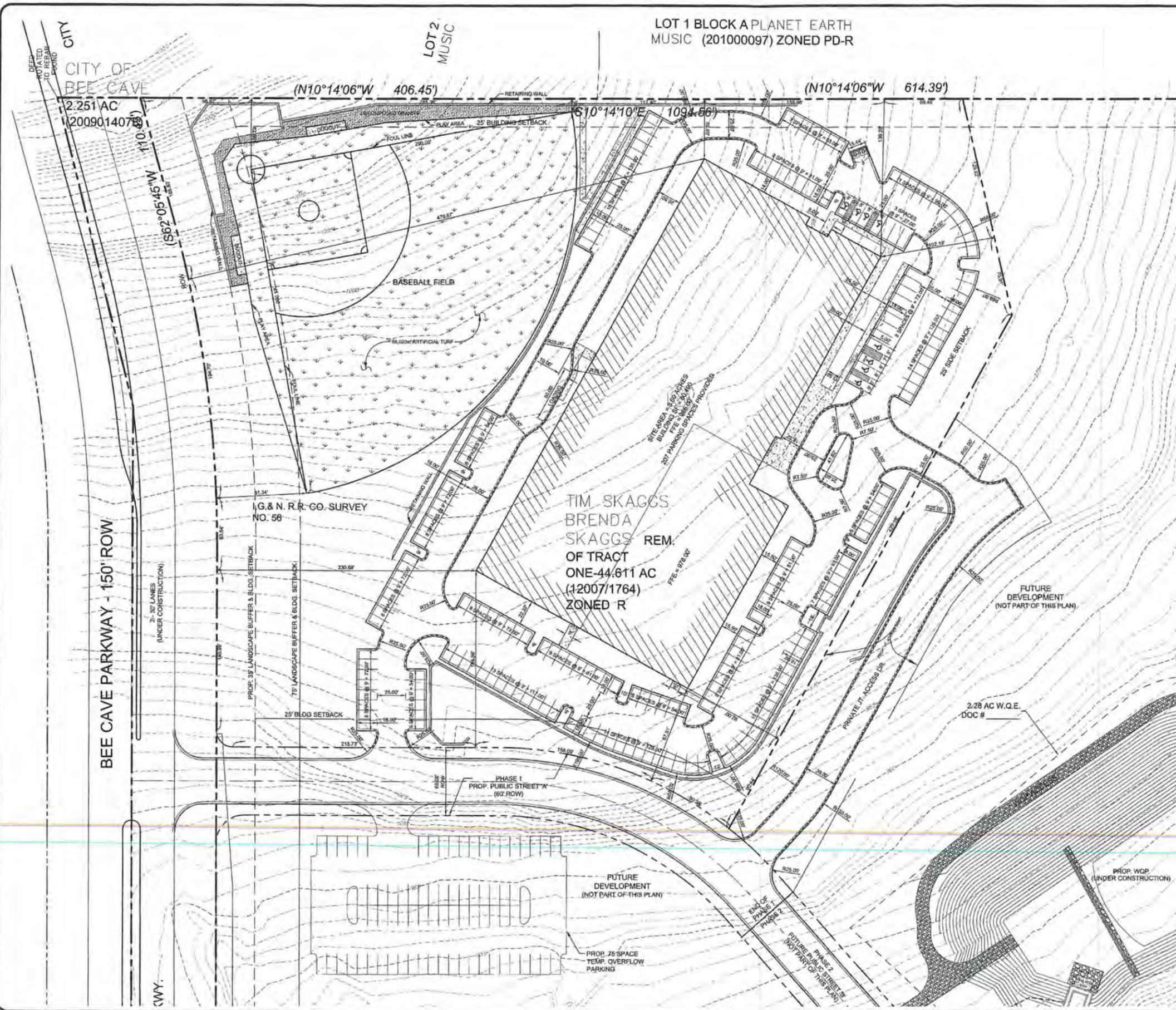
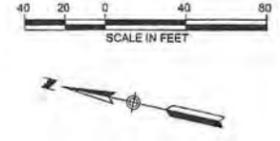
  

**Skaggs 44.854 acre tract - Proposed Impervious Cover**

Tract No. / Description	Green Site Area (Ac)	Time Site Area (Ac)	Imp. Area (Ac)	Parking / Drives / Walks / Decks (Ac)	Total Proposed IC (Ac)	Total Proposed IC (Ac)	Total Proposed IC (%)	
Tract 1 - Hill Country Indoor	374,760	8.80	80,400	0.176	168,787	3.83	44.20%	
Tract 2 - Future Dev / Tempo Parking	213,473	4.80		1,582	4,552	0.10	2.13%	
Tract 3 - Future Dev	108,515	2.52						
Tract 4 - Future Dev	109,048	4.88						
Tract 5 - Future Dev / Private Drive	253,377	4.87		14,241	4,184	3.33	7.00%	
Tract 6 - WQ Pond / Open Space	144,206	3.48						
Tract 7 - WQ Pond / Open Space	250,802	3.78						
Tract 8 - WQ Pond / Open Space	17,284	0.40						
Tract 9 - Open Space	252,787	4.68						
Tract 10 - Open Space	118,918	2.75						
<b>Total</b>		<b>42.14</b>	<b>80,480</b>	<b>182,645</b>	<b>4,582</b>	<b>247,526</b>	<b>8.88</b>	<b>12.43%</b>

(1) The Bee Cave Parkway / Skaggs Agreement (2008) impervious cover for the ROW of Bee Cave Parkway does not count against Skaggs total allowable impervious cover.  
 (2) existing parcels within the Skaggs development may increase their impervious cover by 5% of the respective parcel area if no new parking is incorporated in accordance with Section 29.04.022 of the City's Code of Ordinances.  
 (3) impervious cover may be transferred from tract to tract within the Skaggs 44.854 acre tract.

LOT 1 BLOCK A PLANET EARTH  
MUSIC (20100097) ZONED PD-R



**LEGEND**

PROPOSED	EXISTING	DESCRIPTION
---	---	PROPERTY BOUNDARY
---	---	EASEMENT
---	---	FIRE LANE
---	---	PROP. BLDG. LIMITS
---	---	RETAINING WALL
---	---	ACCESSIBLE PARKING SPACE & PARALLEL SIDEWALK RAMP
---	---	CONCRETE SIDEWALK
---	---	DECOMPOSED GRANITE SIDEWALK
---	---	ARTIFICIAL TURF

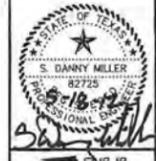
- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. ALL RADII ARE 3' UNLESS OTHERWISE NOTED.

HILL COUNTRY INDOOR  
CONCEPT PLAN  
SITE PLAN

**REVISIONS**

NO.	DESCRIPTION	BY	DATE

DATE	DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE PLOTTED
5/7/13	DMM	DMM	DMM	5/13/13



**LJA Engineering, Inc.**  
Phone 512.435.4716  
Fax 512.435.4716  
FRN - F11366

JOB NUMBER:  
A217-401

SHEET NO.  
**3**

OF 6 SHEETS

I:\217 (Hill Country Indoor)\217\217.dwg  
 User: dmm  
 Date: 5/13/13 10:12:00 AM  
 Plot Date/Time: May 13, 2013 10:12:00 AM



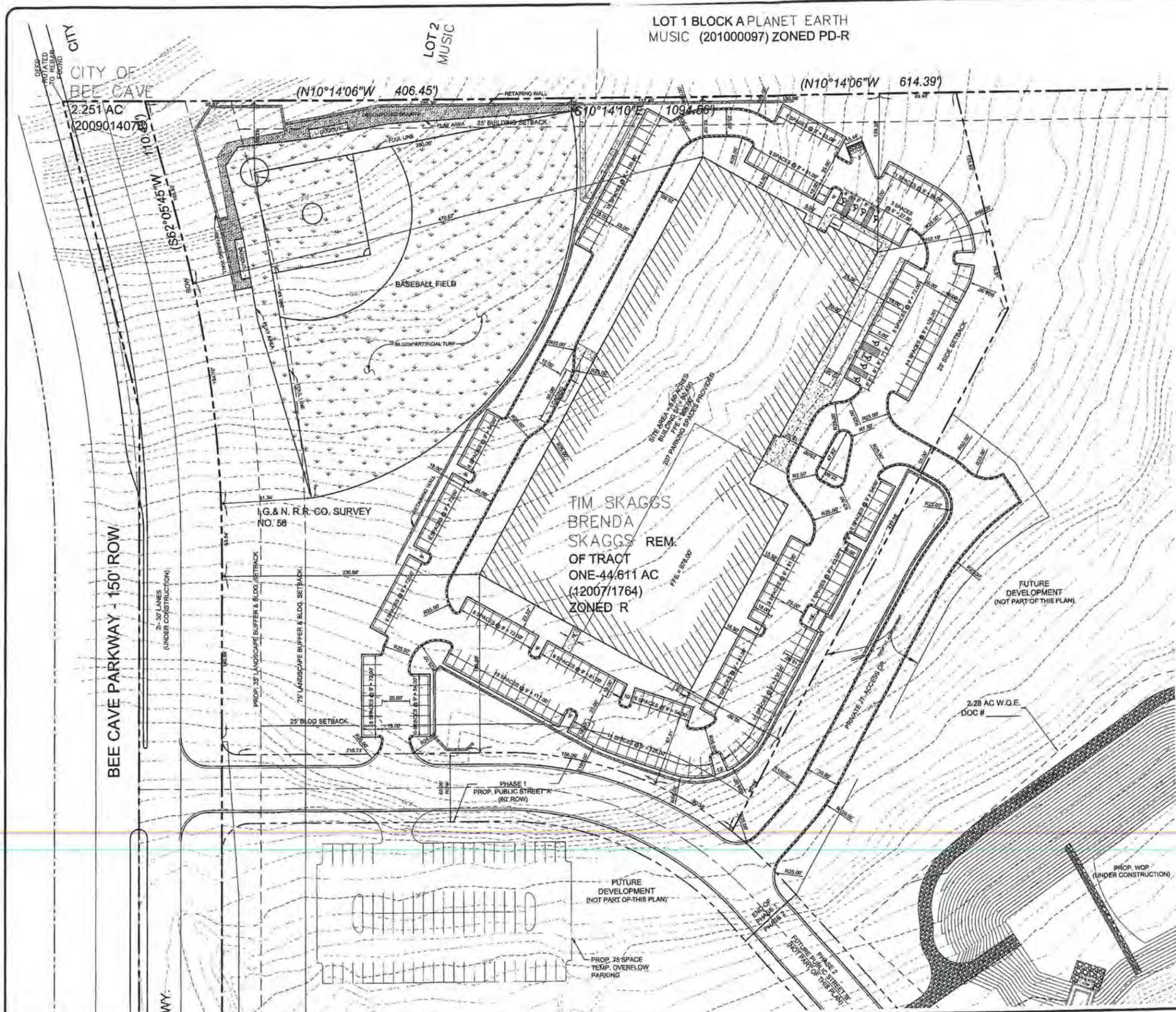
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18533	LO 7	Removed	18583	LO 5	Removed	18778	CLTR CDR 10 8 7 5	Removed	18903	LO 4	Removed	19018	CLTR LO 6	Removed	19153	CDR 9 7 7 6	Removed
18534	LO 7	Removed	18584	LO 5 4	Removed	18779	LO 4	Removed	18904	LO 4	Removed	19019	CLTR LO 11	Removed	19154	LO 5	Removed
18535	LO 5	Removed	18585	LO 5	Removed	18780	LO 4	Removed	18905	LO 4	Removed	19020	CLTR LO 5	Removed	19155	LO 4	Removed
18536	LO 5	Removed	18586	LO 5	Removed	18781	LO 4 4	Removed	18906	LO 11	Removed	19021	LO 7	Removed	19156	LO 5	Removed
18537	LO 4	Removed	18587	LO 5 4 4	Removed	18782	LO 4	Removed	18907	LO 5	Removed	19022	LO 6	Removed	19157	LO 5	Removed
18538	LO 4	Removed	18588	LO 5	Removed	18783	LO 5	Removed	18908	LO 7 5	Removed	19023	LO 7	Removed	19158	LO 5	Removed
18539	LO 6	Removed	18589	LO 10 7	Removed	18784	LO 5	Removed	18909	LO 4	Removed	19024	LO 7	Removed	19159	LO 4	Removed
18542	LO 5	Removed	18590	LO 4	Removed	18785	LO 5	Removed	18910	LO 4	Removed	19025	LO 6	Removed	19160	LO 5	Removed
18543	LO 5	Removed	18591	LO 7 6	Removed	18786	LO 4 4	Removed	18911	LO 5	Removed	19026	LO 6	Removed	19161	LO 5	Removed
18544	LO 4	Removed	18592	LO 4	Removed	18787	LO 4	Removed	18912	LO 5	Removed	19027	LO 6	Removed	19162	LO 5	Removed
18545	LO 9	Removed	18593	CDR 8 7 5 4	Removed	18788	LO 5	Removed	18913	LO 4 3	Removed	19028	LO 7	Removed	19163	LO 5	Removed
18546	LO 4	Removed	18594	CDR 8 7 6 4	Removed	18789	LO 5	Removed	18914	LO 4	Removed	19029	LO 4	Removed	19164	LO 5	Removed
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			18597	CDR 8 6 4 4 4 4	Removed	18792	LO 4 2	Removed	18917	LO 5	Removed	19032	LO 5	Removed	19167	LO 4	Removed
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			18632	LO 4	Removed	18827	LO 10	Removed	18952	LO 5	Removed	19067	LO 10	Removed			
			186														



Exhibit B-1

LOT 1 BLOCK A PLANET EARTH  
MUSIC (201000097) ZONED PD-R

LOT 2  
MUSIC



LEGEND

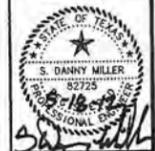
PROPOSED	EXISTING	DESCRIPTION
- - - - -	- - - - -	PROPERTY BOUNDARY
- - - - -	- - - - -	EASEMENT
- - - - -	- - - - -	FIRE LANE
▨	- - - - -	PROP. BLDG. LIMITS
- - - - -	- - - - -	RETAINING WALL
♿	- - - - -	ACCESSIBLE PARKING SPACE & PARALLEL SIDEWALK RAMP
▨	- - - - -	CONCRETE SIDEWALK
▨	- - - - -	DECOMPOSED GRANITE SIDEWALK
▨	- - - - -	ARTIFICIAL TURF

- NOTES:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. ALL RADII ARE 3' UNLESS OTHERWISE NOTED.

HILL COUNTRY INDOOR  
CONCEPT PLAN  
SITE PLAN

NO.	REVISIONS	DESCRIPTION	BY	DATE

DATE	DESIGNED BY	DRAWN BY	CHECKED BY	DATE	DATE



**LJA**  
LJA Engineering, Inc.  
Phone 512.438.4716  
Fax 512.438.4716  
FRN - F-1396

5316 Highway 280 West  
Suite 150  
Austin, Texas 78735

JOB NUMBER: A217-401  
SHEET NO.

LA017 (City of Bee Cave) 10/11/2011/Submitted Drawings - Concept/Phase Planning  
Date: 10/11/2011 10:18:12 AM  
File: 10/11/2011 10:18:12 AM - 082409

**Skaggs 44.873 acre tract - Allowable Impervious Cover**

Gross Site Area	=	42.138 Ac.	
Water Quality Buffer Zone	=	7.873 Ac.	
Net Site Area	=	34.265 Ac.	
Bee Cave Parkway ROW	=	2.735 Ac.	
<b>Allowable Impervious Cover</b>			
40% Net Site Area	=	13.706 Ac.	597,033 SF
40% Bee Cave Parkway ROW (1)	=	1.094 Ac.	47,655 SF
Total Allowable IC	=	14.800 Ac.	644,688 SF

**Skaggs 44.873 acre tract - Proposed Impervious Cover**

Tract No. / Description	Gross Site Area (sf)	Gross Site Area (Acres)	Bldg Area (sf)	Parking / Drives / Pvmnt (sf)	Walks / Decks (sf)	Total Proposed IC (sf)	Total Proposed IC (Acres)	Total Proposed IC (% of Gross Area)
Tract 1 - Hill Country Indoor	374,780	8.60	80,490	81,745	5,112	167,347	3.84	44.65%
Tract 2 - Future Dev. / Temp Parking	213,473	4.90		28,230		28,230	0.65	13.22%
Tract 3 - Future Dev.	109,615	2.52						
Tract 4 - Future Dev.	195,049	4.48						
Tract 5 - Future Dev. / Private Drive	203,577	4.67		14,244		14,244	0.33	7.00%
Tract 6 - WQBZ / Open Space	148,256	3.40						
Tract 7 - WQBZ / Open Space	250,802	5.76						
Tract 8 - WQBZ / Open Space	17,294	0.40						
Tract 9 - Open Space	202,787	4.66						
Street ROW	119,918	2.75		61,942		61,942	1.42	51.65%
Bee Cave Parkway ROW	119,137	2.74						
<b>Total</b>		<b>44.87</b>	<b>80,490</b>	<b>186,161</b>	<b>5,112</b>	<b>271,763</b>	<b>6.24</b>	<b>13.90%</b>

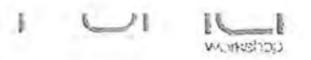
(1) Per Bee Cave Parkway / Skaggs Agreement 10709, impervious cover for the ROW of of Bee Cave Parkway does not count against Skaggs total allowable impervious cover.

(2) Individual Parcels within the Skaggs development may increase their impervious cover by 5% of the respective parcel area if rainwater harvesting is incorporated in accordance with Section 20.04.052 of the City's Code of Ordinances.

(3) Impervious Cover may be transferred from tract to tract within the Skaggs 44.873 acre tract

(4) HCI Impervious Cover includes 560 sf for covered dugouts at baseball field. Walking surface around baseball field shall be decomposed granite or other permeable surface.

(5) Decomposed granite (+/- 4500 sf) and artificial turf (+/- 66,000 sf) areas are not counted toward the impervious cover calculatons.



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# HILL COUNTRY INDOOR

Bee Cave, Texas

11,024.HCI

**OWNER**  
 Hill Country Indoor  
 Contact: Josh McKay  
 Phone: 512.743.5553

**OWNER'S REPRESENTATIVE**  
 Albanese Consulting Services  
 Contact: Bob Albanese  
 Phone: 512.827.2730

**ARCHITECT**  
 Runa workshop, LLC.  
 Contact: Aaron Vollmer  
 Phone: 512.940.2387

**GENERAL CONTRACTOR**  
 Contact:  
 Phone:

**STRUCTURAL**  
 Architectural Engineers Collaborative  
 Contact: G. Charles Naeve, PE  
 Phone: 512.472.2122

**MEP**  
 Johnson Consulting Engineers  
 Contact: Trent Topham  
 Phone: 512.990.9550

**CIVIL**  
 LJA Engineering  
 Contact: Danny Miller  
 Phone: 512.438.4700

City of Bee Cave Approval Date:  
 Signature of City Official:



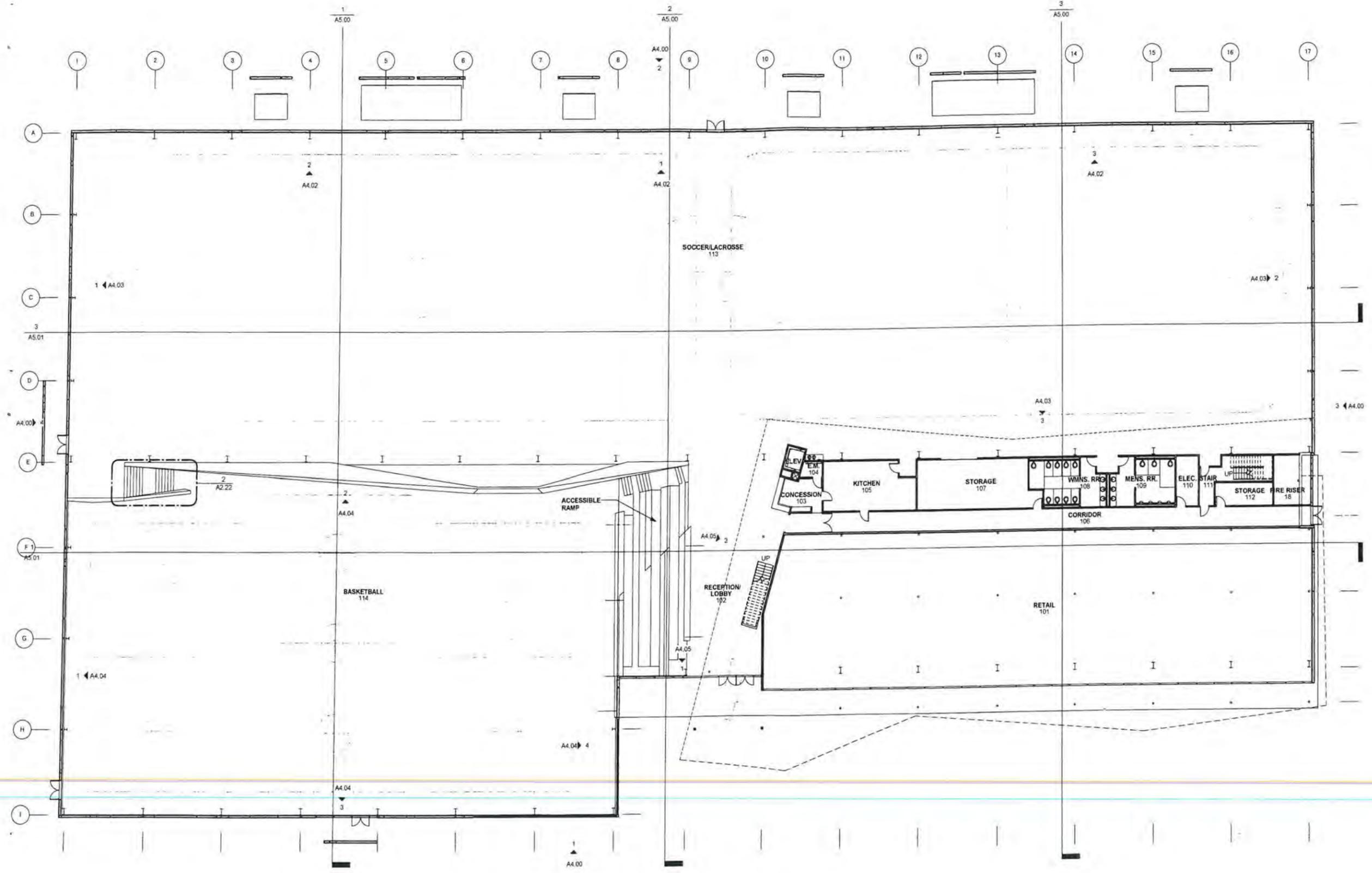
## HCI CONCEPT PLAN

No.	Revision Description	Date
1	HCI CONCEPT PLAN	05.10.12

Drawn By: Author

FIRST FLOOR PLAN  
 1/32" = 1'

**FOR REGULATORY APPROVAL ONLY  
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City of Bee Cave Approval Date:  
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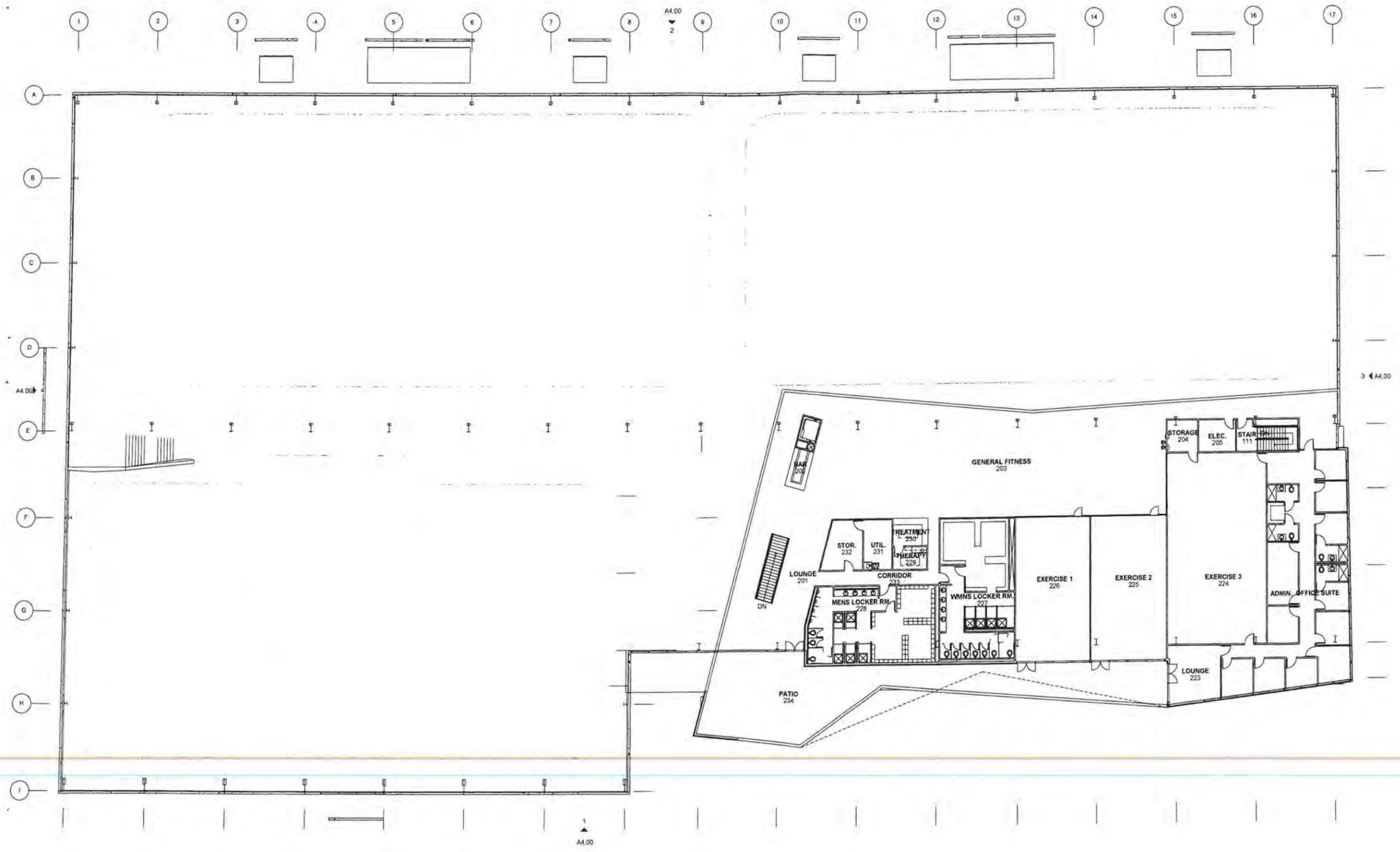
## HCI CONCEPT PLAN

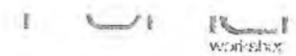
No.	Revision Description	Date
1	HCI CONCEPT PLAN	05.10.12

Drawn By: Author

SECOND FLOOR PLAN  
 1/32" = 1'

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# HILL COUNTRY INDOOR

Bee Cave, Texas

11.024.HCI

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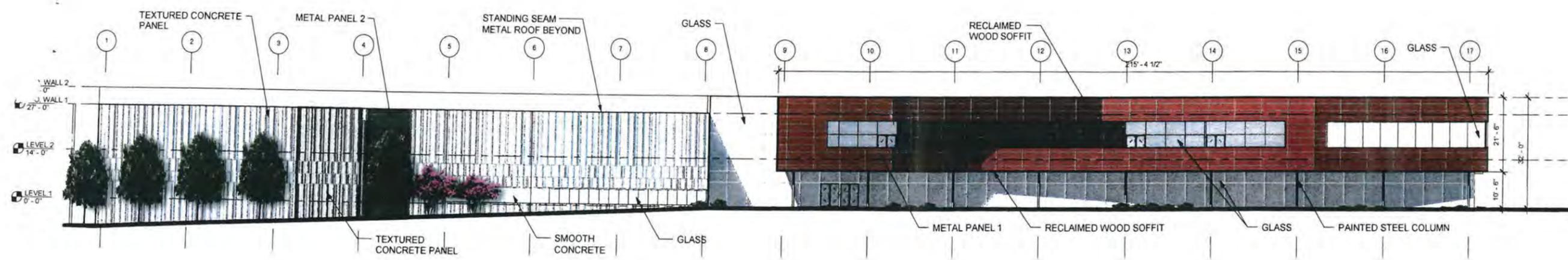
**ARCHITECT**  
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**GENERAL CONTRACTOR**  
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**STRUCTURAL**  
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City of Bee Cave Approval Date:
Signature of City Official:



## HCI CONCEPT PLAN

No.	Revision Description	Date
	HCI CONCEPT PLAN	05.10.12

Drawn By: Author

**SOUTH  
ELEVATION**  
1/32" = 1'

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Bee Cave, Texas  
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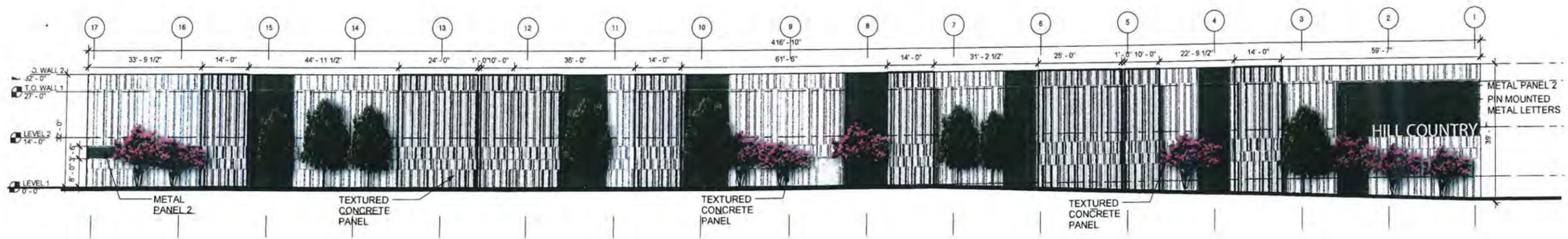
**ARCHITECT**  
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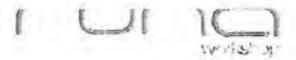
## HCI CONCEPT PLAN

No.	Revision Description	Date
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NORTH ELEVATION  
 1/32" = 1'

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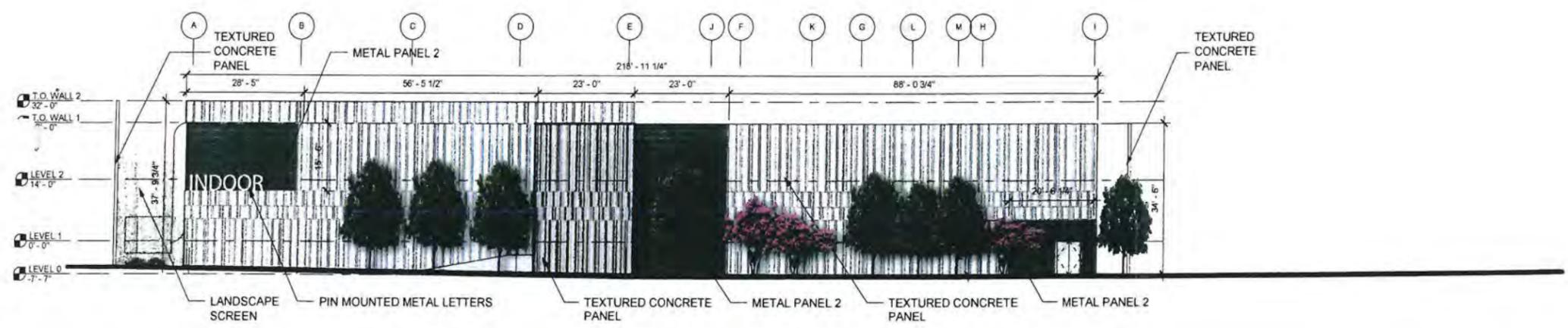
**ARCHITECT**  
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Signature of City Official:



## HCI CONCEPT PLAN

No.	Revision Description	Date
	HCI CONCEPT PLAN	05.10.12

Drawn By: Author

WEST ELEVATION  
1/32" = 1'

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**OWNER**

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Contact:  
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**STRUCTURAL**

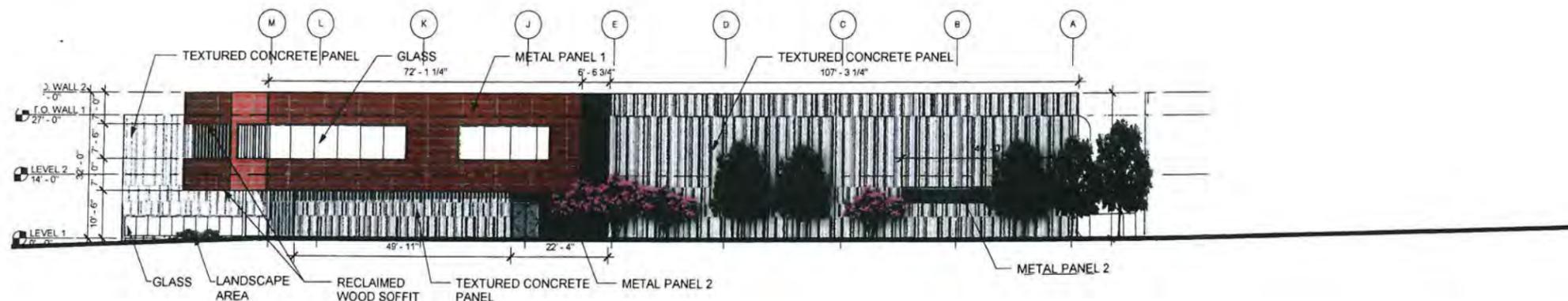
Architectural Engineers Collaborative  
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## HCI CONCEPT PLAN

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EAST ELEVATION  
1/32" = 1'

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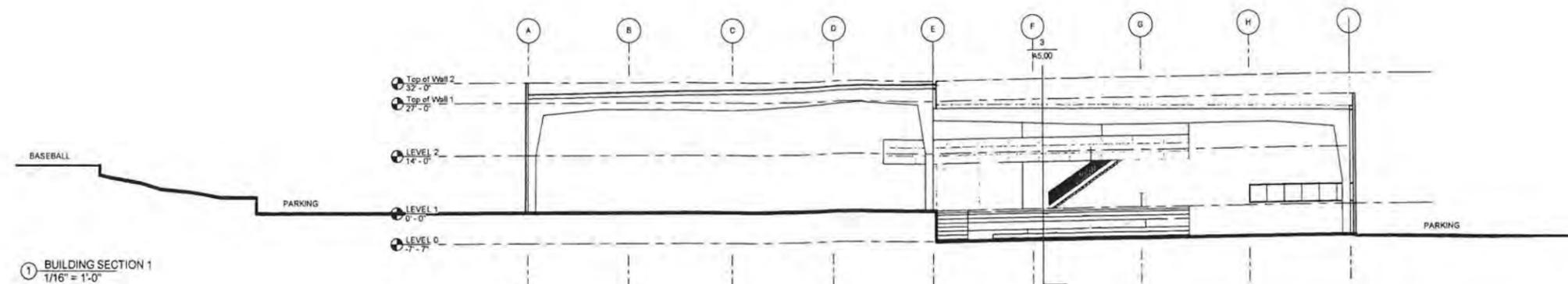


## HCI CONCEPT PLAN

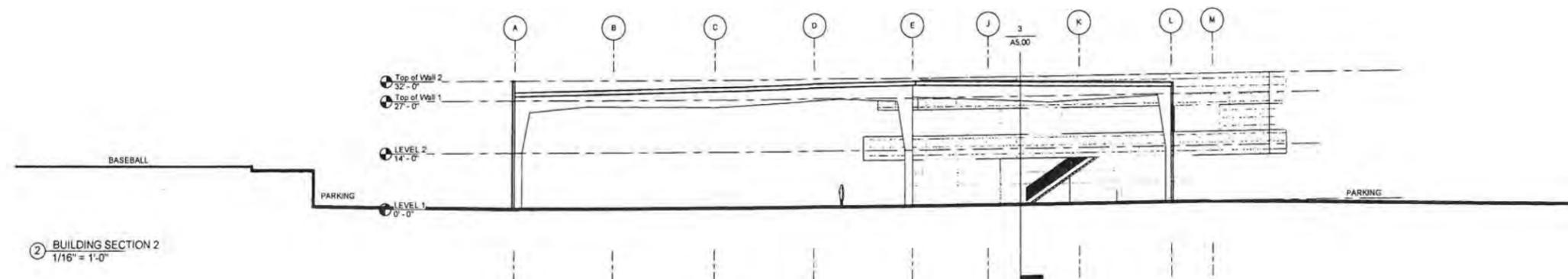
No.	Revision Description	Date
	HCI CONCEPT PLAN	05.10.12

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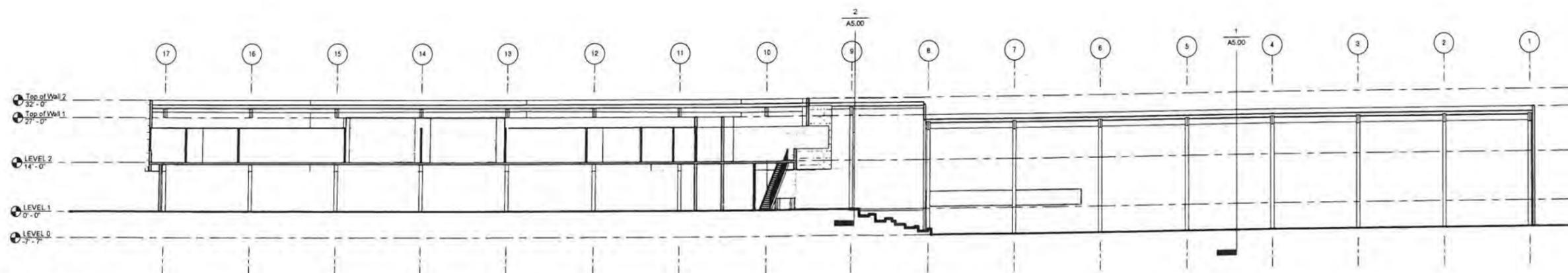
**BUILDING SECTIONS**  
1/32" = 1'-0"



① BUILDING SECTION 1  
1/16" = 1'-0"



② BUILDING SECTION 2  
1/16" = 1'-0"



③ BUILDING SECTION 4  
1/16" = 1'-0"

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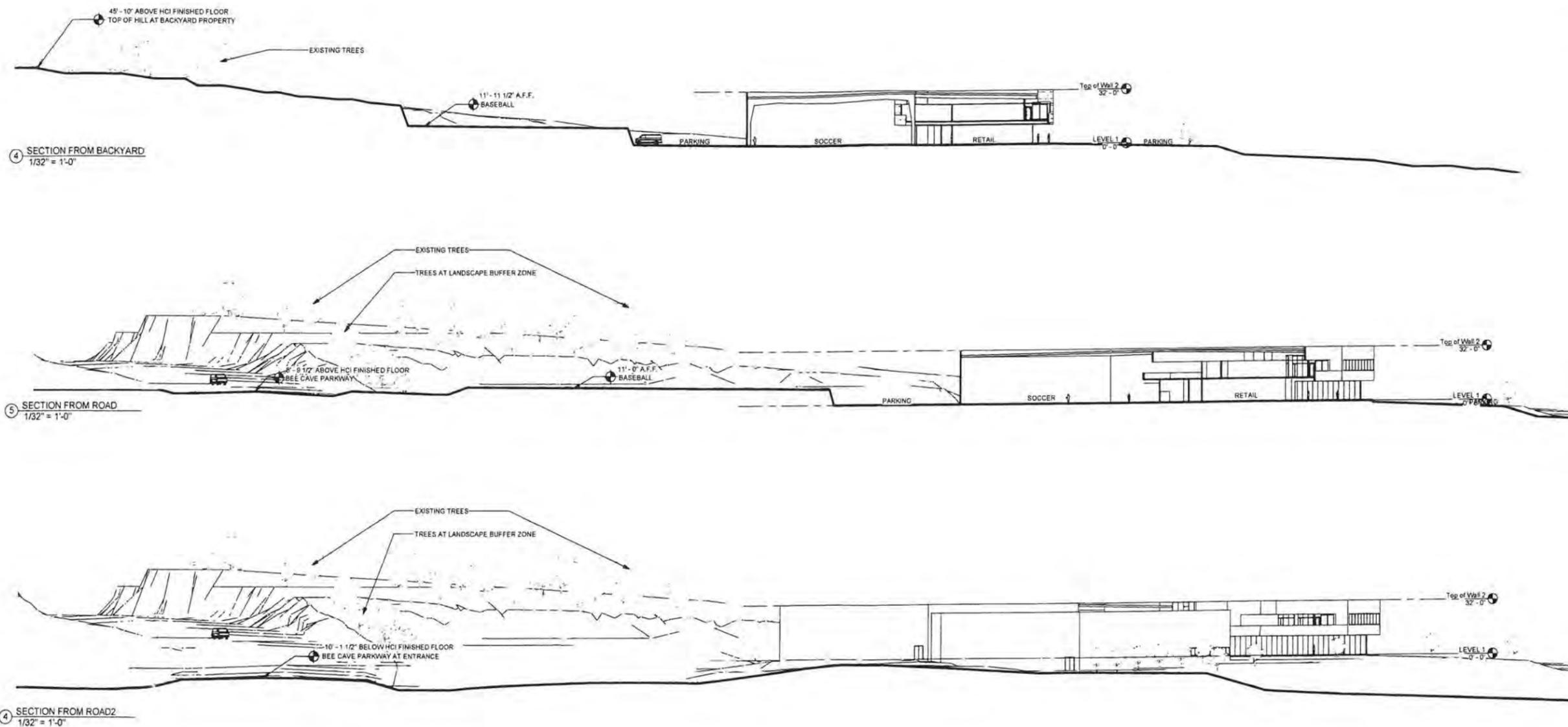


## HCI CONCEPT PLAN

No.	Revision Description	Date
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Drawn By: Author

SITE SECTIONS  
1/64" = 1'-0"



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City of Bee Cave Approval Date:  
 Signature of City Official:

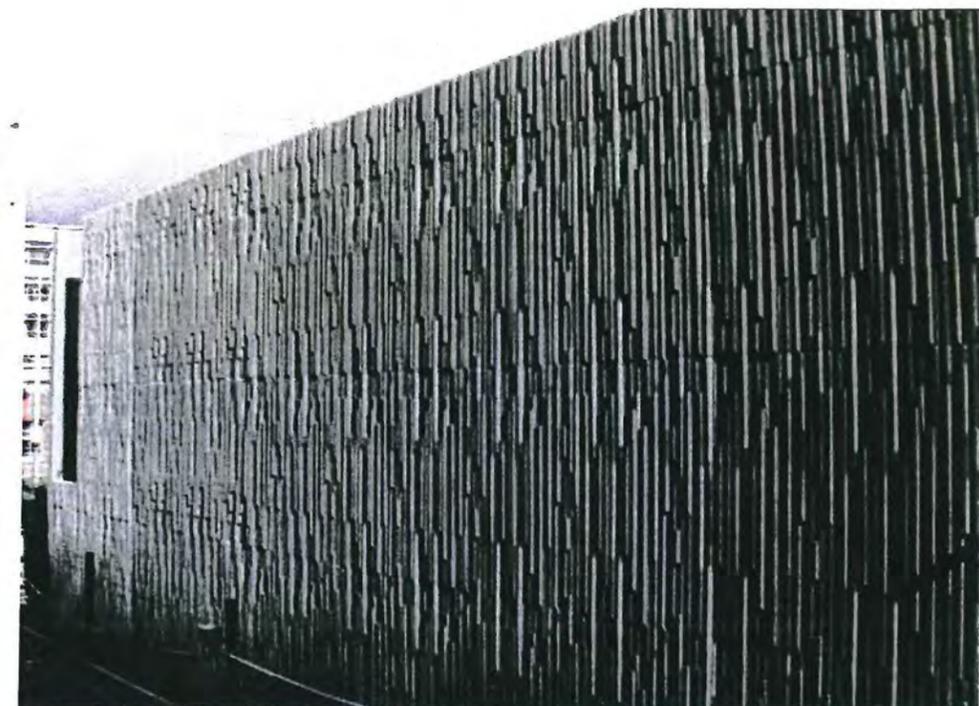


## HCI CONCEPT PLAN

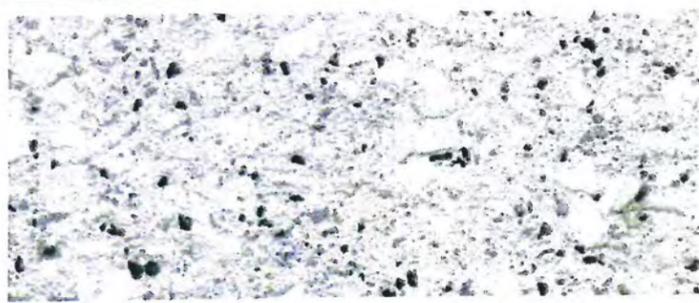
No.	Revision Description	Date
	HCI CONCEPT PLAN	05.10.12

Drawn By: Author

FIRST FLOOR PLAN  
 1/32" = 1'



TEXTURED CONCRETE PANEL



CONCRETE PANEL 2 - SANDBLASTED CONCRETE



METAL WALL PANEL 1, REFER TO RENDERINGS FOR COLOR



ROOF - STANDING SEAM METAL ROOF



METAL WALL PANEL 2



LIMESTONE RETAINING WALL



GLASS CURTAIN WALL SYSTEM



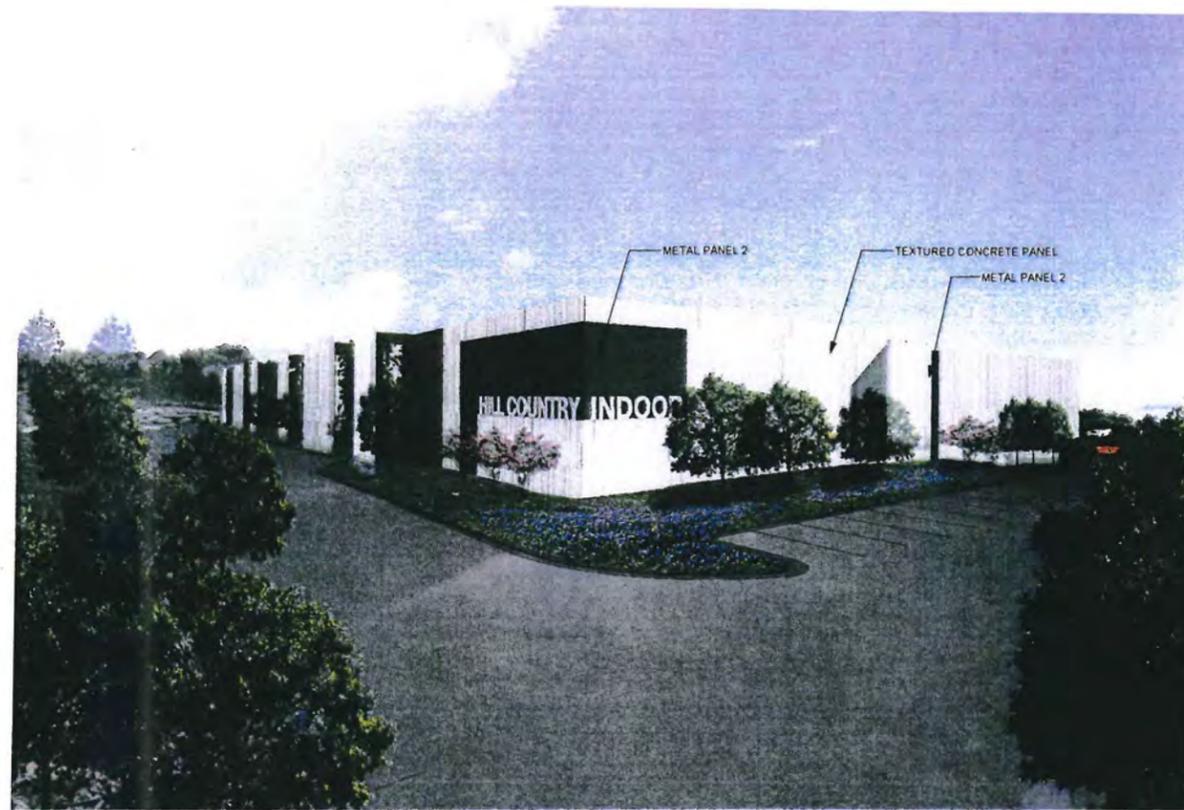
RECLAIMED WOOD



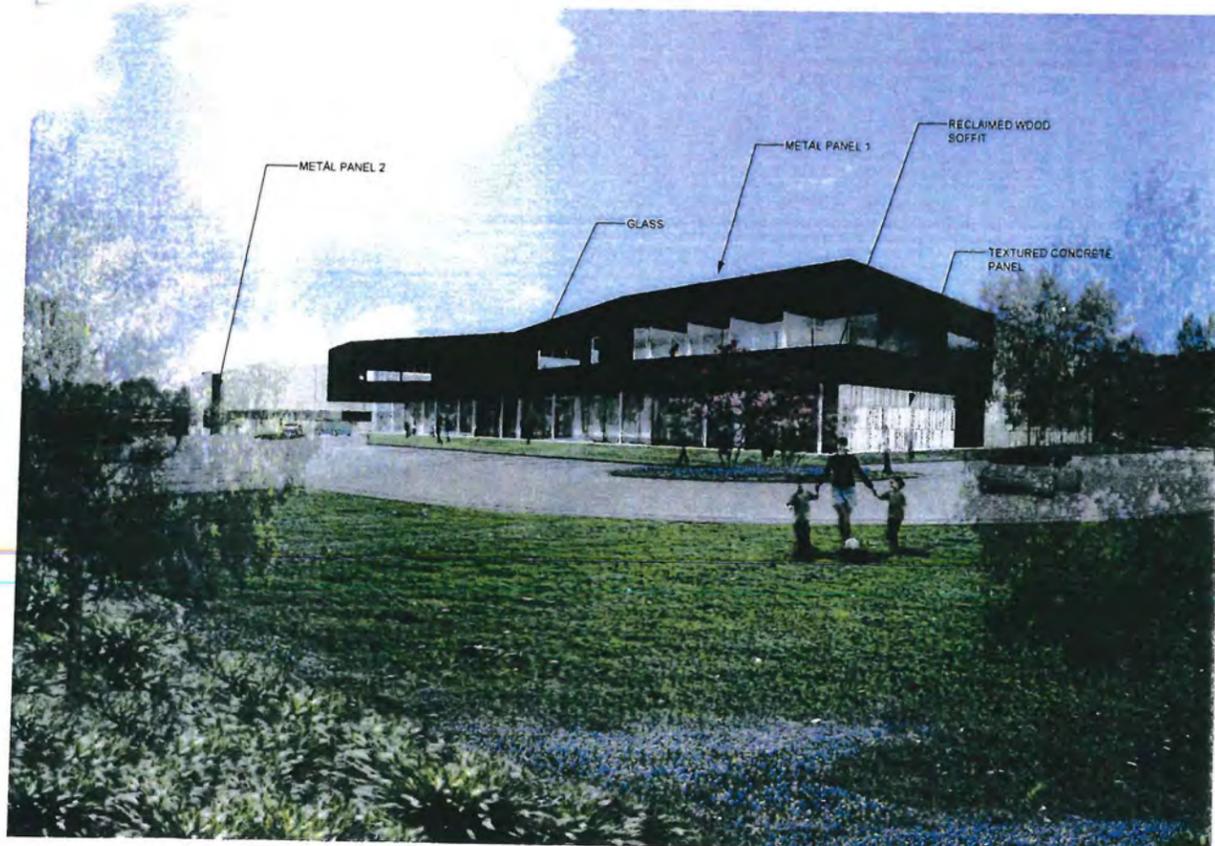
FOR REGULATORY APPROVAL ONLY  
 NOT FOR CONSTRUCTION



VIEW FROM NORTHWEST CORNER OF SITE



VIEW FROM NORTHWEST CORNER OF SITE



VIEW FROM SOUTH EAST CORNER



VIEW FROM BACKYARD PROPERTY



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# HILL COUNTRY INDOOR

Bee Cave, Texas

11.024.HCI

**OWNER**  
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Phone: 512.743.5553

**OWNER'S REPRESENTATIVE**  
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**ARCHITECT**  
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**GENERAL CONTRACTOR**

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Phone:

**STRUCTURAL**  
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**CIVIL**  
LJA Engineering  
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City of Bee Cave Approval Date:  
Signature of City Official

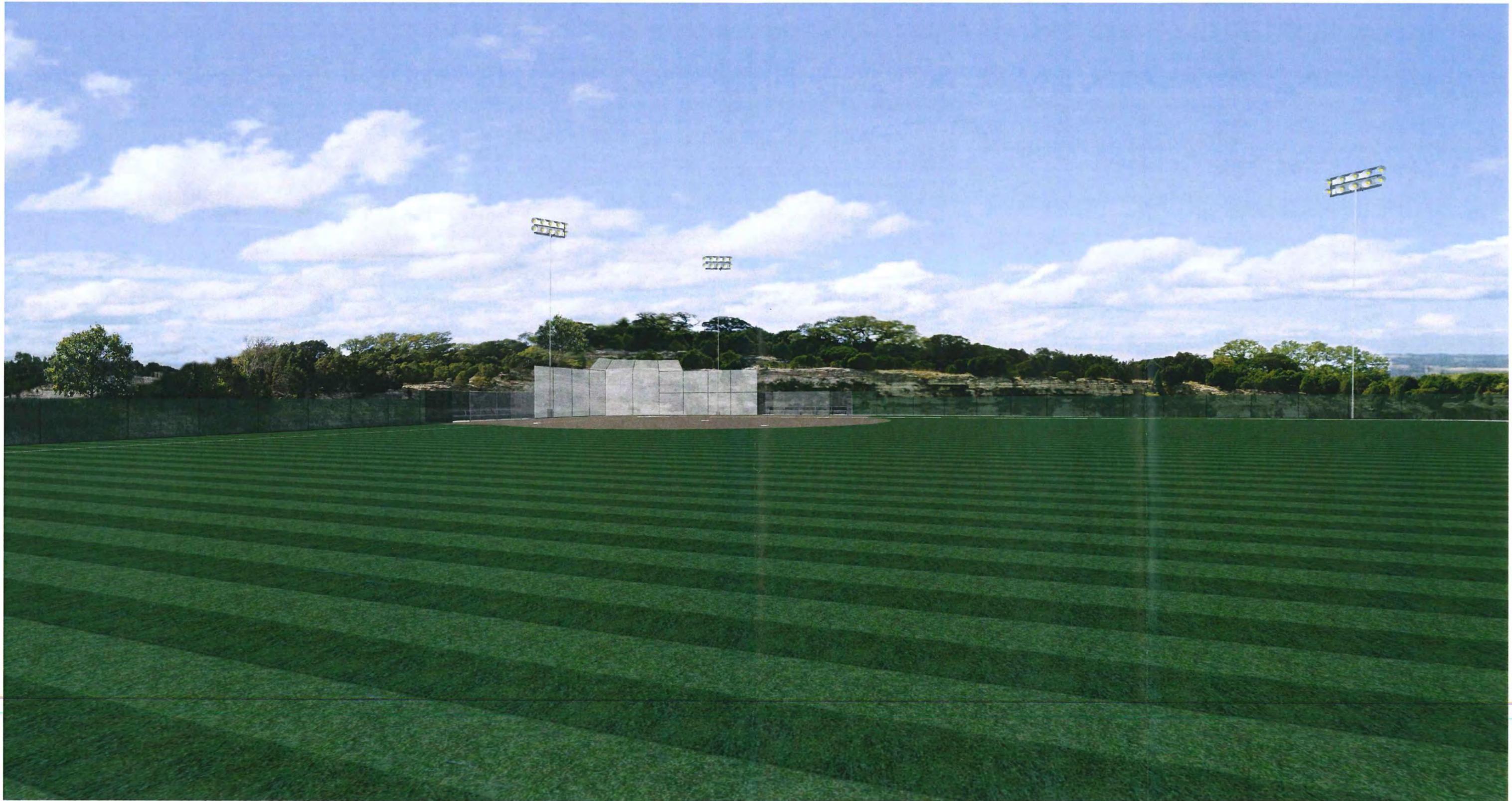


## HCI CONCEPT PLAN

No.	Revision Description	Date
	HCI CONCEPT PLAN	05.10.12

Drawn By: Author  
PERSPECTIVES

FOR REGULATORY APPROVAL ONLY  
NOT FOR CONSTRUCTION







- FILL PROGRAM
- FILL LANDSCAPE
- CUT PROGRAM
- CUT LANDSCAPE



Exhibit B-3

## PLANNED DEVELOPMENT STANDARDS

The following Planned Development Standards shall be applicable within this Planned Development District. To the extent that any of the following standards conflict with other City Ordinances, the following shall control. All development activity undertaken on the Property, including but not limited to, an outdoor sports field and indoor sports venue, and other authorized activities (as described below) (the "Project"), shall comply with the development standards for Retail Zoning District (R) for the Property in effect as of the date of this Ordinance, and with all other City zoning, subdivision and construction codes and requirements, except as modified by this Ordinance. Capitalized terms shall be defined as indicated in these Planned Development Standards, as reflected on the Concept Plan or as defined in the City of Bee Cave Code of Ordinances ("Code"), depending upon context.

### 1. General Project Design Requirements

The Property is an approximate 8.6 acres generally located north of Highway 71 and west of Highway 620 and south of the proposed Bee Cave Parkway Extension. The Project shall consist of, among other things, a lighted outdoor sports field, consisting of a typical baseball type backstop and dugouts, an indoor sports facility 50 feet in height and consisting of a building footprint of 85,000 square feet including two soccer/lacrosse fields, three basketball courts, a concession area and kitchen, retail and office space, fitness area and facilities, and dressing room facilities for use by adult and youth leagues, practices and tournaments. Some parking will be provided on site, but overflow parking is intended to be provided by adjoining property which adjoining property will also provide additional impervious cover, water quality and storm water detention and tree mitigation. The Project is depicted in Exhibit "B" to the zoning ordinance.

### 2. Building Height

- (a) The building height shall be allowed a maximum height of fifty feet (50') from finished grade.
- (b) All other buildings or structures shall have a maximum height limited to one story and twenty-five feet (25') in height.

### 3. Building Area and Architectural Standards

- (a) The Indoor Sports Facility may occupy a building footprint of eighty five thousand square feet. The term "Building Footprint shall mean the gross area in square feet of the ground floor of a building measured from outside wall to outside wall. The Project is depicted in Exhibit "B" attached to the Ordinance.
- (b) The outdoor sports field shall not exceed 1.5 acres and may, subject to the conditions described below, be constructed as depicted in Exhibit "B" with up to 67,000 square feet of Artificial Turf as described in Exhibit "B1".
- (c) The elevations for the Building Facades are hereby approved as part of the approval of the Concept Plan which is attached as Exhibit "B2". Extended and continuous glass windows

are authorized in conjunction with the retail space. Bump out walls shall be added to the Elevations for the East and West sides of the Building as similarly depicted for the north elevation in Exhibit "B2".

(d) Except for the elevation for the Building Facades and other structures depicted in Exhibit "B2" attached hereto, elevations for Building Facades of all other buildings and structures, shall be considered for approval at the time that the Project Site Plan is considered for approval. The design for any outdoor structures shall conform to the Elevations as approved in Exhibit "B2" or to the City's Exterior Building Design Standards within the Bee Cave Code of Ordinances, unless the City Council, in its sole discretion, approves an alternate design in conjunction with approval of the Site Plan. The City Council has authority to approve a building design which deviates from the City's Exterior Building Design Standards if the City Council determines that an alternate design adequately meets the intent of the City's Exterior Building Design Standards as well as the intent of the Project.

#### **4. Parking Areas Associated with the Project**

(a) The Project shall provide 203 parking spaces on site and 75 parking spaces for overflow parking on adjacent property as depicted in the Concept Plan. Parking shall not be allowed within the Project except in designated and marked parking spaces as depicted in the Concept Plan. Prior to Site Plan approval, developer shall provide a copy of an easement evidencing Developer's right to utilize adjacent property for overflow parking and providing for maintenance of such areas. Such overflow parking areas shall be considered impervious cover and counted toward the impervious cover limits associated with future development of the applicable adjoining property. For purposes of this section, adjoining property means land that is connected to the Project property lines and located south of Bee Cave Parkway.

Alternatively to offsite parking, Developer may acquire rights to additional impervious cover that would allow for additional parking to be constructed within the Project boundaries, or Developer may acquire additional property for the construction of parking. In any case, the size of the proposed facilities and the nature of the proposed use require a minimum of 278 total parking spaces based on a standard parking size of eight and one-half feet (8.5') wide by eighteen feet (18') long. Provided however, that up to 10% of the number of parking spaces may be provided by compact parking consisting of spaces that are seven and a half feet (7.5') wide by fifteen feet (15') long.

(b) Parking spaces for the overflow parking need not be paved nor permanently identified or marked, until the expiration of five (5) years or the development of the adjoining property whichever event occurs first, and until paved shall not be required to be delineated except for estimated overall parking capacity calculations, based on the parking space sizes described above. As temporary overflow parking, mulch may be used as the parking surface. Vehicle stopping devices and curbing or other improvements, shall likewise not be required until the area is paved.

(c) Only one Loading Dock for the Project is required as depicted in the Concept Plan and shall be screened as provided in the City's Code of Ordinances.

(d) In the event that the Developer wishes to add parking beyond the 278 spaces, additional parking may be provided by long-term lease, easement or through ownership of additional land immediately adjacent to the Project property, or through joint use agreements with immediately adjacent landowners. For purposes of this section, immediately adjacent means land that is connected to the Project property lines and located south of Bee Cave Parkway. This section shall not be interpreted to prevent the Project from busing patrons to and from the Project, provided that the parking provided for the vehicles of such patrons shall be located at least 1 mile from the Project so that pedestrians are not encouraged to walk along Bee Cave Parkway to access the Project. Parking on Bee Cave Parkway is prohibited.

## **5. Lighting Standards**

(a) Section 32.05.012 of the City Code of Ordinances shall apply to this Project. Lighting for the sports field shall be required to comply with the City's lighting requirements and shall be shielded as required in the City's Code of Ordinances. The outdoor sports field shall be served with permanent lighting as depicted in the Concept Plan. Field lighting shall not occur between the hours of 8:30pm and sunrise Monday through Sunday. Provided however, that Monday through Saturday game play that is underway may continue to use field lights until 9:30 pm or the completion of the game, whichever event occurs first.

(b) Any lighting provided in the overflow parking areas shall be shielded, shall not be turned on except for events that occur requiring overflow parking and shall not exceed the total foot candle or lumen requirements contained in the City Code of Ordinances calculated as an average across the Project site as a whole; it being understood that the parking lot lighting of the overflow parking area may be provided through the use of temporary lighting that may produce "hot spots" that exceed the Code of Ordinance requirements for small portions of the parking areas, but the lighting of the parking areas as averaged across the Project site shall comply with the City's Code of Ordinances.

(c) All other outdoor lighting must comply with the City's Code of Ordinances. Provided however, that the City Council has the authority pursuant to Site Plan approval upon the request of the Developer to approve a lighting plan which deviates from the City's Code of Ordinances or from this Ordinance, if the City Council determines that an alternate design adequately meets the intent of the City's Ordinances.

## **6. Noise Standards**

(a) Amplified sound outside of the Indoor Sports building shall not be allowed.

(b) Noise generated from activities within the Project shall not exceed sixty five (65) decibels at the Property line of the Project.

## **7. Water Quality and Detention Ponds**

(a) The location of water quality and detention ponds for the Project shall be located on adjoining property as depicted on the Concept Plan. Prior to the issuance of a Site Plan, Developer shall provide a copy of an easement evidencing Developer's right to utilize adjacent property for water quality and detention and providing for maintenance of such areas.

## **8. Impervious Cover and Non-Point Source Pollution Control Standards for Water Quality Controls**

(a) Impervious Cover. The Project shall be authorized for up to 40% impervious cover. Any impervious cover that is proposed for the Project in excess of 40% up to 45% may be authorized through conveyance and transfer of impervious cover from adjoining property or through use of rainwater collection systems or through acquisition of additional property. Areas of the Project which are constructed and maintained with grass or other vegetative materials, shall receive 100% credit from the impervious cover calculations for the Property. Pedestrian walk-ways that are constructed with crushed granite or similar materials will receive 100% credit against impervious cover.

(b) Future Credit for Impervious Cover and Maintenance Agreements. Non-pedestrian areas that are constructed with crushed granite, or areas that are constructed with permeable pavers, Artificial Turf or other types of semi-permeable materials may receive credit from the impervious cover calculations. These areas as depicted on the Concept Plan and as described in Exhibit "B1" may be credited with a percentage of impervious cover as approved by the City at the time of Site Plan approval. Developer is authorized to substitute real grass for Artificial Turf if the percentage of credit of impervious cover granted is not sufficient to maintain the Project below the impervious cover limits. A separate Maintenance Agreement which includes water quality monitoring, maintenance and repair shall be required to guarantee that all semi-permeable areas and areas containing Artificial Turf continue to perform in a manner justifying the credit for impervious cover and guaranteeing that the 95% water quality removal standards are achieved. Approval of the Maintenance Agreement shall occur when the Site Plan for the Project is approved. The impervious cover created by construction of the Bee Cave Parkway Extension shall not count as impervious cover against the Project.

(c) Off-site Impervious Cover. The impervious cover created by construction of the water detention and water quality ponds, over-flow parking areas, and the roadways and driveways that will be constructed adjacent to the Project site as depicted on the Concept Plan and which will provide access to the Project, shall count as impervious cover against future development on the property in which they are constructed. Project Owner shall obtain from the landowner of the adjacent property prior to Site Plan approval, evidence suitable for recording in the real property records of Travis County that such impervious cover will be applied against the percentage of impervious cover available to the property for future development.

(d) Water Quality Standards. The Project water quality controls shall be constructed to achieve pollutant removals of 95% as required by the City's Code of Ordinances. The Project

shall be authorized to utilize water quality facilities located on adjacent property as depicted on the Concept Plan. Prior to Site Plan approval, Developer shall provide a copy of an easement evidencing Developer's right to utilize adjacent property for water quality and water detention purposes and providing for maintenance of such facilities.

**9. Permitted Uses in the District**

- (a) The following uses are permitted within this PDD:

Outdoor sports field and associated structures as depicted on the Concept Plan.

Indoor sports facility consisting of two soccer/lacrosse fields, three basketball courts, batting cages, a concession area and kitchen, a maximum of 9000 square feet of retail as a complimentary service to the indoor and outdoor recreational activities, 9000 square feet of office space, and fitness areas and facilities, and dressing room facilities for use by adult and youth leagues, practices and tournaments as depicted in the Concept Plan.

All "permitted" uses associated with Retail "R" Zoning as set forth in the City's Code of Ordinances in effect as of the date of this PDD approval shall be permitted up to a maximum of 9000 square feet. These permitted uses shall be allowed unless otherwise restricted or prohibited as provided herein.

Contractor's Temporary On-Site Construction Office (Only during Construction)

- (b) The uses associated with this property are specific to this Project and this PDD Ordinance. Except as expressly approved by this PDD Ordinance no other uses or any expansion of the uses authorized herein are approved, unless this PDD Ordinance is amended.

**10. Landscaping**

- (a) The Project's Landscape Plan shall be considered for approval when the Project's Site Plan is submitted for approval. Such landscaping shall be used to accomplish the following: (i) substantially screen utilities, fencing, lighting structures and the portions of the Building that are not articulated in accordance with City's Code of Ordinances as depicted in the elevations approved in Exhibit "B2"; (ii) substantially screen the parking areas located within any building set back areas; (iii) substantially screen the outdoor sports field and associated structures from view from Bee Cave Parkway; (iv) screen storage areas and waste collection receptacles; and (v) substantially screen HVAC units as generally depicted in Exhibit "B2" so that such units are not visible.

- (b) Except as otherwise set out herein, the Project shall comply with the landscape requirements of the City's Code of Ordinance. Provided however, the Project shall not be required to pay the Beautification Fees or replant trees as provided in the Code of Ordinances if Developer receives authorization from the adjoining property owner, as evidenced by an easement or similar conveyance, that protects the same amount or greater of caliper inches of trees that would otherwise trigger payment of the Beautification Fee or would otherwise exceed

the amount of trees that could be removed from the Project. The Landscape Plan and any proposed tree removal shall be considered for approval at Site Plan approval.

(c) Juniper, cedar and hackberry trees shall not be considered as “protected trees” and shall not be considered as being included within the requirements of the landscape provisions of the City’s Code of Ordinances unless such trees are 12 caliper inches in size or greater.

## **11. Setbacks**

(a) The building setback for Bee Cave Parkway is seventy five feet (75’) feet. Provided however, that the outdoor sport field and associated infrastructure as depicted in the Concept Plan may be located in the 75 foot setback, but not closer than thirty five (35’) feet from Bee Cave Parkway. Other setbacks for the Project shall be as shown on the Concept Plan. Only those structures and parking areas shown on the Concept Plan shall encroach into any building setback (except for an entrance driveway and utilities). Except as otherwise authorized herein, construction of vertical structures in any setback is not permitted.

## **12. Signs**

(a) Any Signage that may be depicted on the Concept Plan is not authorized herein. Any signage within the Project must comply with the City’s Sign Ordinance as it may be amended from time to time. Such changes or amendments to signage shall not require an amendment to this Ordinance.

## **13. Additional Performance Standards**

(a) Trash dumpsters shall be screened from view in accordance with Section 32.05.002(f) (7) of the City Ordinances.

(b) Sidewalks or trails may be used throughout the Project. Such amenities may add impervious cover to the Project as described in the City’s Code of Ordinances.

(c) A Traffic Impact Analysis is required for this Project at Site Plan approval. Provided however, that in the event that Bee Cave Parkway is not complete prior to Site Plan approval, such Traffic Impact Analysis shall not be required until after completion of Bee Cave Parkway. Any mitigation or traffic impacts identified by the Traffic Impact Analysis study shall be mitigated by the Project, or if the Project cannot mitigate the traffic impacts caused by the Project, such impacts shall be mitigated in conjunction with development of the adjoining property (“Skaggs Property”). Developer shall obtain an easement or other documentation from the adjoining landowner evidencing that such traffic impact mitigation is a requirement in conjunction with and as a condition of approval for development of the adjoining property.

(d) Cut and fill will be allowed within the Project as depicted in the Concept Plan, Exhibit “B3”.

(e) “Minor Modifications” of the Concept Plan and/or Site Plan for the Property may be approved administratively by the City Administrator provided such modifications would not otherwise result in a violation of the City’s Code of Ordinances, a violation of specific Development Standards described in this Ordinance, cause an increase in the amount of impervious cover or an increase in Annual Pollutant Load, or cause additional encroachments into the setbacks established for the Property. “Minor Modifications” may be required more frequently during the site plan and permitting process for the Project. As a result, “Minor Modifications” are defined as:

1. Adjustments to the location or configuration of parking areas, sidewalks, trails, utilities, and landscape features, (including plants and trees) so long as the number of parking spaces is not reduced below 278 spaces.
2. Any other matters considered as a Minor Amendment by the City’s Code of Ordinances.
3. Placement or construction of structures associated with the Outdoor Sports Field such as bleachers, benches or outdoor field fixtures so long as such construction or placement does not create additional impervious cover.

(f) All open space and trails shall be privately maintained and not dedicated to the City.

(g) Indoor sports activities may be conducted from 5:00 am to 12:00 am Monday through Sunday.

(h) Curb cuts and median cuts within Bee Cave Parkway shall be authorized as depicted on the Concept Plan.

(i) Traffic Control Plans shall be submitted and approved by the City Administrator prior to the commencement of any tournament event. The City may require Developer to fund and provide Traffic control officers to assist with any event or activity that takes place within the Project that will likely have an adverse impact to traffic on Bee Cave Parkway and on highway 71 (if applicable).

(j) The Project shall be maintained clean from litter. A litter management and control program for the project shall be subject to review and approval by the City Administrator.

(k) Utilities serving the Project located along Bee Cave Parkway and within the Project shall be buried. Utilities and roadway access to the Project may be provided by offsite improvements and conveyed by separate instrument.

(l) Traffic control and event security may be required by the City.

(m) In the event that amendments to these Development Standards are subsequently approved by the City as part of Site Plan approval or Plat approval, such changes shall be authorized herein

without the need for an amendment to the Concept Plan or this zoning ordinance. However, no changes in the use of the property may be approved except through an amendment to this ordinance.

(n) Fencing for the Project shall be approved in advance by the City prior to construction. The outdoor sports field may utilize chain link fence for the field back stop and dugouts, but shall be coated with a green coating material commonly used on chain fencing or shall be screened.

(o) Screening and safety netting for the outdoor sports field shall be approved as part of the site plan approval. The height of such screening shall not exceed 30 feet.