

ORDINANCE NO. 167

AN ORDINANCE OF THE CITY OF BEE CAVE, TEXAS (“CITY”) AMENDING THE ZONING OF REAL PROPERTY FROM CURRENT ZONING AS A NEIGHBORHOOD SERVICES DISTRICT TO A PLANNED DEVELOPMENT RETAIL DISTRICT FOR TWO TRACTS OF LAND BEING APPROXIMATELY 1.3650 ACRES AND 0.9220 ACRES RESPECTIVELY; WHICH LAND IS LOCATED AT 13308 WEST HIGHWAY 71 IN THE CITY OF BEE CAVE AND IS REFERRED TO AS THE REVIVAL PROJECT AND WHICH LAND IS MORE PARTICULARLY DESCRIBED IN EXHIBIT “A” ATTACHED HERETO (THE “PROPERTY”); APPROVING A CONCEPT PLAN AND ASSOCIATED DOCUMENTS, ATTACHED AS EXHIBIT “B” (“CONCEPT PLAN”); PROVIDING SPECIAL DEVELOPMENT STANDARDS AND CONDITIONS, ATTACHED AS EXHIBIT “C” (“PLANNED DEVELOPMENT STANDARDS”); APPROVING BUILDING ELEVATIONS, ATTACHED HERETO AS EXHIBIT “D”; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR FINDINGS OF FACT, EFFECTIVE DATE, AND PROPER NOTICE AND MEETING.

WHEREAS, the Planning and Zoning Commission and the City Council of the City, in compliance with the laws of the State of Texas, have given the requisite notices by publication and otherwise, and have held two public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and the City Council of the City is of the opinion and finds that said zoning change should be granted and that the Comprehensive Zoning Ordinance and Map should be amended as set forth herein; and

WHEREAS, the development proposed by the zoning applicant complies with the current City Ordinances except as modified by the Planned Development Standards contained in this Ordinance; and

WHEREAS, the development provides amenities and features that would be of special benefit to the property users and community and increased open space opportunities for public use; and

WHEREAS, this Planned Development District allows for a project that offers a place for the community to gather, the assembly of some small non-confirming lots into one cohesive project, and advancement of the spirit of the Comprehensive’s Plan’s objective to attract unique, community oriented businesses; and

WHEREAS, any protest made against the proposed change of Zoning Classification has been duly considered by the City Council; and

WHEREAS, Sec. 32.03.015 of the City Zoning Ordinance provides that the purpose of a Planned Development District is to provide for the development of land as an integral unit for single or mixed use in accordance with a Concept Plan that may include uses, regulations and other requirements that vary from the provisions of other zoning districts, and to encourage

flexible and creative planning to ensure the compatibility of land uses, and to allow for the adjustment of changing demands to meet the current needs of the community;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BEE CAVE, TEXAS:

SECTION 1. Findings of Fact. All of the above premises are hereby found to be true and correct legislative and factual findings of the City and are hereby approved and incorporated into the body of this Ordinance as if copied in their entirety.

SECTION 2. Amendment. That the City Zoning Ordinance and Map of the City of Bee Cave, Texas, be and the same are hereby, amended so as to grant a change of zoning from Neighborhood Services District to Planned Development District with base zoning of Retail for the Property described in Exhibit "A".

SECTION 3. Development. That the Property shall be developed in compliance with this Ordinance, the Concept Plan, attached as Exhibit "B", and the terms and conditions of the City's Code of Ordinances, except as modified by the Planned Development Standards attached hereto as Exhibit "C." Buildings within the Project shall be constructed in accordance with the Elevations contained in Exhibit "D" which is attached hereto. Applicant shall not commence development until it has secured all site plan approvals, plat approvals and building permits and has received any other approvals as required by the City of Bee Cave Ordinances;

SECTION 4. Zoning Application. This Ordinance authorizes development of the subject Property only to the extent such development is depicted in the Concept Plan or other submittals contained in the attached exhibits. If portions of the development of the Property requested in the zoning application are not approved herein by the City Council, or are not depicted or described in an attached Exhibit, then that portion of Applicant's zoning application is specifically denied;

SECTION 5. Concept Plan. That the Concept Plan for this Planned Development District which is attached as Exhibit "B" and made a part hereof for all purposes is hereby approved for said Planned Development District as required by Chapter 32, of the Code of Ordinances of the City of Bee Cave, Texas. However, any proposed use, structure, activity or development depicted on the Concept Plan and described in Exhibit "C" as a matter, structure, activity or development that is not considered for approval until Site Plan approval shall not be deemed authorized or approved by the City of Bee Cave by this Ordinance until such time as a final site plan ("Site Plan") is approved for such use and/or structure, activity or development in accordance with the terms and conditions of Chapter 32 of the Code of Ordinances. All deviations to the City's Code of Ordinances are only approved hereby to the extent that such deviations are expressly approved in Exhibit "C", Development Standards.

SECTION 6. Uses. Only those uses specifically described in the Development Standards, attached hereto as Exhibit "C", shall be authorized uses in accordance with the Concept Plan. Any other uses ordinarily allowed in a Retail District shall be considered Conditional Uses for purposes of this Project, because of the less stringent set back requirements,

the size of the facilities and the other favorable Development Standards afforded to this Project and as depicted in the Concept Plan. The authority granted by this Ordinance is therefore specific to the Project that has been represented in the applicant's zoning application and as depicted in the Concept Plan, unless same is subsequently amended or modified by approval of the City Council, or modified as a Minor Amendment in accordance with the Code of Ordinances, or unless such changes are authorized by Exhibit "C" to this Ordinance. All changes in use from the uses listed in Exhibit "C" require an amendment to this Ordinance. All conditional uses listed in Exhibit "C" shall require approval by the City Council pursuant to the conditional use requirements of the Code of Ordinances.

SECTION 7. Amendments to Development Standards. As referenced in Section 6, all changes or expansions of uses authorized for the Project require an amendment to this Ordinance and to the Concept Plan. However, any changes in the Development Standards, not associated with a change in use, and that are approved by City Council or the City Manager in a subsequent site plan or plat approval shall not require an amendment to this Ordinance. In such cases, Developer shall provide City with updated and accurate Concept Plans reflecting such changes.

SECTION 8. Expiration. In the event that construction of Phase I of the Project is not commenced and diligently pursued to completion prior to December 31, 2016, the Project authorized by this Ordinance shall terminate and the zoning for the Property shall become Neighborhood Services. In such event, the Concept Plan and any other approvals associated with the Project shall terminate and be of no further force or effect.

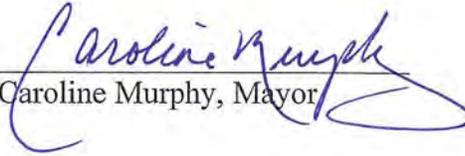
SECTION 9. Severability. That should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjusted or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of Chapter 32, Zoning, of the City of Bee Cave Code of Ordinances and Map as a whole.

SECTION 10. Effective Date. That this Ordinance shall take effect immediately from and after its passage.

SECTION 11. Notice and Meeting Clause. It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government Code.

PASSED AND APPROVED by the City Council of the City of Bee Cave, Texas, on the 8th day of October 2013.

CITY OF BEE CAVE, TEXAS


Caroline Murphy, Mayor

ATTEST:


City Secretary

[SEAL]

APPROVED AS TO FORM:

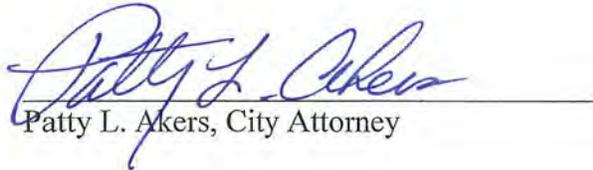

Patty L. Akers, City Attorney

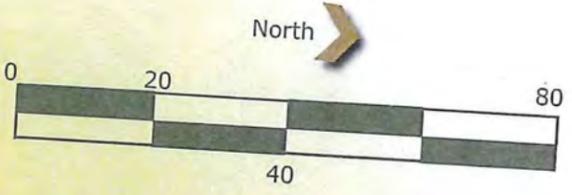
Exhibit "A"

Property Description

Being tract 2, Viola Marshall Subdivision, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Book 87, Page 44D Plat Records, Travis County, Texas, together with 1.3678 acres (1.51) out of the John Hobson Survey No. 387, Abstract No. 527, in Travis County, Texas, and being that same 1.51 acres conveyed to Baldwin Properties, Ltd.

Exhibit "B"

Concept Plan



Building E
7,341 sqft footprint
12,799 total sqft

25' Setback

Building B
453 sqft footprint
1,437 total sqft

Revival
Market Square

Proposed Roof Deck/
Outdoor Display Space (below)

Building A
5,122 sqft footprint
12,946 total sqft

Outdoor Display Space

Building C
1,270 sqft footprint
3,566 total sqft

Playscape

Splash Pad

Water
Feature

The Lawn

Building D
3,429 sqft footprint
6,858 total sqft

25' Setback

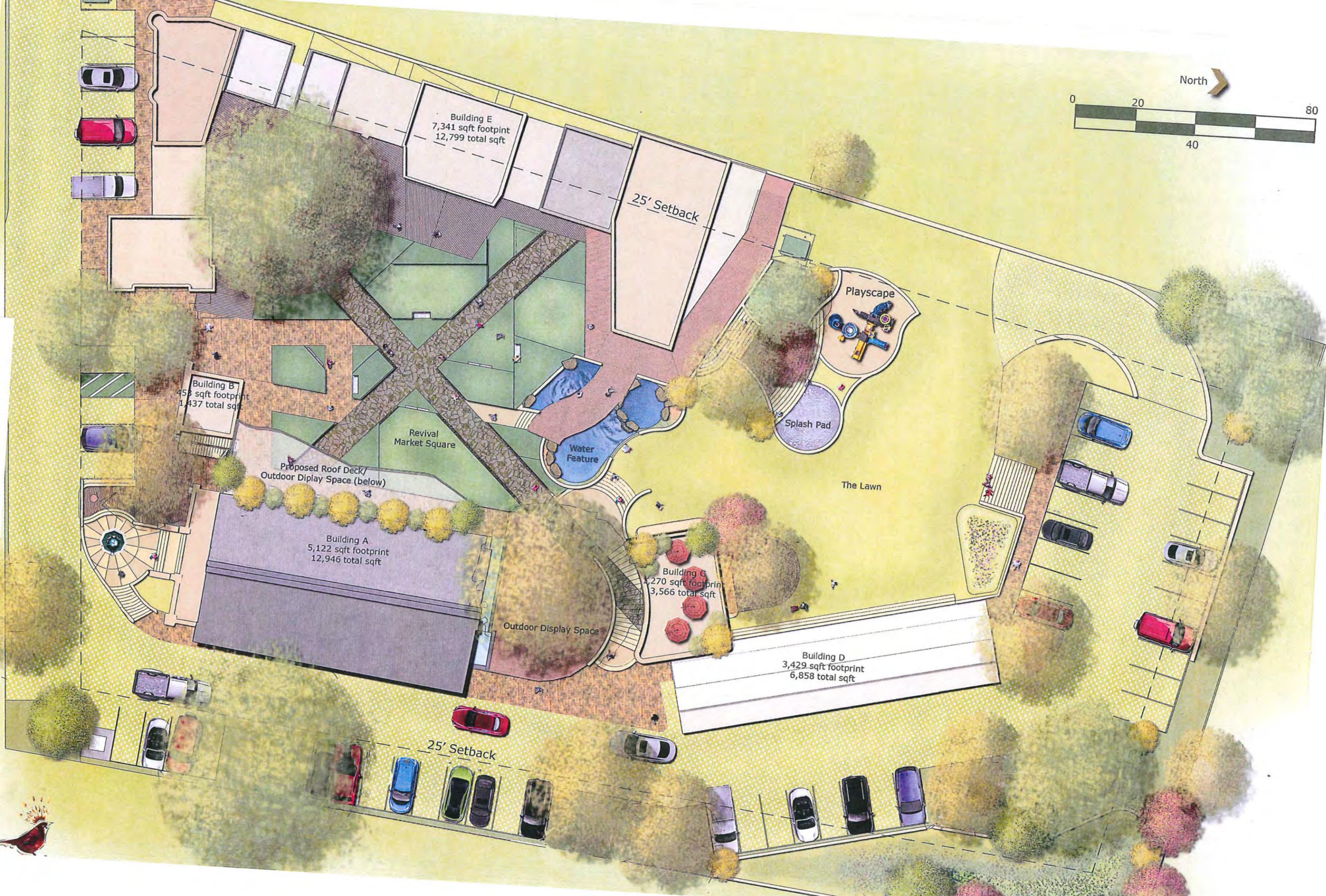


EXHIBIT "C"

PLANNED DEVELOPMENT STANDARDS

The following Planned Development Standards shall be applicable within this Planned Development District. To the extent that any of the following standards conflict with other City Ordinances, the following shall control. All development activity undertaken on the Property, (the "Project"), shall comply with the development standards for Retail Zoning District (R) for the Property in effect as of the date of this Ordinance, and with all other City zoning, subdivision and construction codes and requirements, except as modified by this Ordinance. Capitalized terms shall be defined as indicated in these Planned Development Standards, as reflected on the Concept Plan or as defined in the City of Bee Cave Code of Ordinances ("Code"), depending upon context.

1. General Project Design Requirements

The Property is currently composed of two tracts of land approximately 2.287 acres as described in Exhibit "A". The Property shall be replatted into one lot prior to issuance of a Site Plan permit. Platting approval may be obtained in conjunction with Site Plan approval. The Project will be constructed in two phases, as depicted in Exhibit "B" to the zoning ordinance. The Project shall consist of a multi-tenant mix of small artisan retail shops and service uses distributed among five buildings and internally oriented around two outdoor public gathering spaces that emphasize pedestrian connectivity and preservation and enhancement of the existing tree canopy. The tenants will be of a smaller scale that evokes a traditional "Main Street" and deemphasizes national chain retailers, with uses such as new and antique home décor and furniture store, re-upholstery shop, artisanal food market, compounding pharmacy, coffee shop/cafe, restaurant, bookstore, small professional office, tailor, florist, beauty and barbershop, handicrafts shop, and artist's studio. Some parking will be provided on site, but overflow parking will be required in conjunction with certain special events and prior to development of Phase II.

2. Building Height

The building height of each building shall be authorized as follows and shall be measured in accordance with Section 32.05.006(b) of the Code of Ordinances:

- (a) Building A shall be allowed a maximum height of forty-seven feet (47').
- (b) Building B (tower) shall be allowed a maximum height of fifty one feet (51') and three stories.
- (c) A portion of Building E as depicted on the elevations in Exhibit D shall be allowed a maximum height of forty feet (40').
- (d) All other buildings or structures shall have a maximum height limited to two stories and thirty-five feet (35') in height.

3. Building Footprint, Area, and Architectural Standards

Building A may occupy a building footprint of 5,122 square feet, with the basement level occupying 6,094 square feet. The term “Building Footprint shall mean the gross area in square feet of the ground floor of a building measured from outside wall to outside wall. The Project is depicted in Exhibit “B” attached to the Ordinance. All other buildings (B through E) are authorized to occupy the building foot print designated herein:

Building B: 453 square feet

Building C: 1,270 square feet

Building D: 3,429 square feet

Building E: 7,341 square feet

(b) Maximum square footage for each building:

Building A: 12,946 square feet

Building B: 1,437 square feet

Building C: 3,566 square feet

Building D: 6,858 square feet, which includes a common area with Building C

Building E: 12,799 square feet

(c) The elevations for the Building Facades are hereby approved as part of the approval of the Project which elevations are attached as Exhibit “D”. Any elevations not approved herein shall be approved by the City Council in its sole discretion as part of Site Plan approval. As depicted in Exhibit “D”, glass windows are authorized up to 60 % of the surface area in conjunction with Building A, North Façade, Building B, North Façade, Building C, North and West facades, and Building D, North and West Facades. As depicted in Exhibit “D”, Building E, South Façade may contain up to 50% reclaimed wood and concrete, painted wood, metal, and glass are authorized as building materials up to 30 % of the surface area of any other buildings or structures. Building E, West façade may be constructed using less than 75% masonry if using hardi-plank, as depicted in Exhibit D.

(d) Building colors are not limited to the color palette described in Section 32.05.005(b)(1)(B)(iii) of the Code so long as bright colors such as pinks, purples and primary colors are not utilized.

(e) Notwithstanding the above criteria, any changes in design from the facades depicted in Exhibit “D” shall be approved by the City Council, in its sole discretion, in conjunction with Site Plan approval. The City Council has authority to approve a building design which deviates from the City’s Exterior Building Design Standards if the City Council determines that an alternate design proposed by the applicant adequately meets the intent of the City’s Exterior Building Design Standards as well as the intent of the Project.

4. Parking Areas, Loading Docks and Trash Receptacles Associated with the Project

(a) The Project shall provide 62 parking spaces in conjunction with Phase I of the Project. Special event parking will be provided off-site and verified through parking agreements at the time that a special event permit is issued. In addition to the parking spaces provided within the Property as part of Phase I. No special event permits will be issued until off-site parking sufficient to meet the needs of the event has been documented. Phase II of the Project shall provide a minimum of 72 parking spaces in addition to the 62 parking spaces provided within the Project for Phase I.. Phase II of the Project shall not be approved unless and until applicant purchases additional property, obtains an easement on additional property or obtains a long term lease on additional property sufficient to provide the number of parking spaces designated herein. Sites for additional parking as described herein shall be on adjacent property so that customers of the Project are not required to cross Highway 71 and are not required to walk on the shoulder of Highway 71 to avoid crossing private property. Parking shall not be allowed within the Project except in designated and marked parking spaces as depicted in the Concept Plan. Prior to Site Plan approval, developer shall provide a copy of an easement, deed or lease evidencing Developer's right to utilize adjacent property for overflow parking and providing for maintenance of such areas. Such overflow parking areas shall be considered impervious cover and counted toward the impervious cover limits associated with future development of the applicable adjoining property. For purposes of this section, adjoining property means land that is connected to the Project property lines and located north of Highway 71. Parking on Highway 71 is prohibited.

Off site Special Event parking may be provided via shuttle service to move customers to and from the Property so long as such parking is located a minimum of one mile from the Property, in order to prevent customers from walking along and/or crossing highways as discussed above.

Alternatively to offsite parking for Phase I and Phase II, Developer may acquire rights to additional impervious cover that would allow for additional parking to be constructed within the Project boundaries. In any case, the size of the proposed facilities and the nature of the proposed use and upon completion of both Phase I and Phase II together require a minimum of 134 total parking spaces based on a standard parking size of eight and one-half feet (8.5') wide by eighteen feet (18') long.

(b) Loading shall occur on the event lawn and along the drive aisle adjacent to Building A. Loading shall occur outside of hours of operation. Unloaded goods may remain outside for up to three hours, provided the location of goods does not interfere with traffic circulation or emergency vehicle access through the Project.

(c) Dumpsters shall be located as depicted in Exhibit "B" and may be screened with vegetation upon consideration and approval by the City of a maintenance plan.

5. Lighting Standards

(a) Lighting for the Project shall be constructed and operated in accordance with the Code. However, the applicant may propose alternative lighting in conjunction with Site Plan approval. Approval of alternative lighting shall be at the sole discretion of the City Council. The City

Council has authority to approve lighting which deviates from the City's Code if the City Council determines that an alternate design adequately meets the intent of the City's lighting standards and regulations as well as the intent of the Project. The City Council may also impose time limits or other conditions in conjunction with approval of alternative lighting requests.

(b) Any lighting provided in offsite parking areas shall be shielded and shall comply with Code lighting requirements.

6. Noise Standards

Noise from the Project shall be controlled in accordance with Section 32.05.008 of the Code of Ordinances, as amended from time to time.

7. Water Quality and Detention Ponds

(a) The location of water quality controls, detention ponds and alternative BMPs for the Project although depicted in the Concept Plan shall be considered for approval in conjunction with Site Plan approval. In the event that the alternative water quality and detention designs depicted in the Concept Plan are not approved at Site Plan, Developer shall be required to meet the City's Code of Ordinances regarding storm water detention and water quality control prior to issuance of a Site development permit. Water quality controls and detention ponds sufficient to meet Code requirements for Phase I and Phase II shall be constructed as part of Phase I construction.

(b) Water quality controls shall meet the pollutant removal requirements of the City's Code. Applicant may apply for use of Full Infiltration Rain Garden ("FIRG") as an alternative best management practice ("BMP") in accordance with City of Austin design at Site Plan approval if applicant can demonstrate that the FIRG meets the Code requirements for approval of alternative BMPs and agrees to a maintenance agreement for the alternative BMP.

8. Impervious Cover and Non-Point Source Pollution Control Standards for Water Quality Controls

(a) Impervious Cover. The Project shall be authorized for up to 40% impervious cover and up to 45% impervious cover with the implementation of rainwater collection as approved in a subsequent Site Plan. Any impervious cover that is proposed for the Project in excess of 40% or 45% as applicable may be approved in a subsequent Site Plan approval or may be authorized through conveyance and transfer of impervious cover from other property or through acquisition of additional property. Areas of the Project which are constructed and maintained with grass or other vegetative materials, shall receive 100% credit from the impervious cover calculations for the Property. Pedestrian walk-ways that are constructed with crushed granite or similar materials will receive 100% credit against impervious cover.

(b) Credit for Impervious Cover and Maintenance Agreements. Developer has requested the use of semi-pervious materials in lieu of impervious construction materials and has requested a credit against impervious cover through the use of such materials. The City will consider the request for impervious cover credit at Site Plan approval if the materials are demonstrated to the

satisfaction of the City that they meet or exceed the permeability needed to justify the credit, that they are thereafter constructed in accordance with the requirements of the Site Plan approval and that they are maintained after construction so they continue to perform at a level justifying the credit.

Outdoor display areas shall not be considered as impervious cover unless such areas are located on pervious cover areas, or unless the display areas are included within a covered structure or kiosk, or unless the product being displayed is itself impervious.

Developer is authorized to substitute real grass for artificial turf, porous pavers or semi porous material for non-vehicle areas if the percentage of credit of impervious cover granted by Site Plan approval is not sufficient to maintain the Project below the impervious cover limits. A separate Maintenance Agreement which includes water quality monitoring, maintenance and repair shall be required to guarantee that all semi-permeable areas and areas containing artificial turf, grass pavers, porous or semi porous materials continue to perform in a manner justifying the credit for impervious cover and guaranteeing that the 95% pollutant removal requirement for water quality standards are achieved. Approval of the Maintenance Agreement shall occur when the Site Plan for the Project is approved.

(c) Off-site Impervious Cover. The impervious cover created by construction of offsite parking areas shall count as impervious cover against future development on the property in which they are constructed. Developer shall obtain from the landowner of the property being used for parking prior to Site Plan approval, evidence suitable for recording in the real property records of Travis County that such impervious cover will be applied against the percentage of impervious cover available to the property for future development.

9. Permitted Uses in the District

(a) The following uses are permitted within this PDD:

- a. Alcoholic Beverage Retail Sales- limited to the sale of beer and wine for off premise consumption
- b. Amusement Devices/Arcade (Four or more devices) but not to exceed 800 square feet of space
- c. Art Dealer/Gallery
- d. Artist Studio
- e. Automatic Teller Machines (ATMs)
- f. Bakery (retail)
- g. Barbershop (non-College)
- h. Beauty Shop (non-College)
- i. Bike Sales and/or repair
- j. Book Store
- k. Building Material Sales
- l. Clinic/Medical

- m. Consignment Shop
- n. Contractor's Office/Sales, No Outside Storage including Vehicles
- o. Drapery Shop/Blind Shop (No Manufacturing)
- p. Exhibition Hall
- q. Financial Service (Advice/Interest)
- r. Florist
- s. Food or Grocery Store
- t. Furniture Sales (Indoor)
- u. Garden Shop (Inside Storage)
- v. Handicraft Shop
- w. Kiosk (Providing a Service)
- x. Market (Farmer's)
- y. Offices, Professional and General Business
- z. Outside Display
- aa. Pharmacy
- bb. Philanthropic organization
- cc. Photo Studio
- dd. Restaurant (No in-service-vehicle-see definition). On premise consumption of alcohol is authorized in conjunction with restaurant use so long as gross receipts of alcohol does not exceed 50% of total gross receipts for the restaurant.
- ee. Special Activities Venue
- ff. Studio for Radio or television (without tower)
- gg. Tailor Shop
- hh. Upholstery Shop (non-Auto)
- ii. Used merchandise; Furniture, Antique Shop Store

Contractor's Temporary On-Site Construction Office and Leasing Trailer (Only during Construction and the Construction Office and Leasing Trailer must be removed on or before 18 months from the date of issuance of the Phase I Site Plan.)

Any uses authorized in the Retail Zoning District but not specified in subsection (a) above shall be considered a conditional use and may be approved by the City Council upon approval of a conditional use permit.

- (b) The uses associated with this property are specific to this Project and this PDD Ordinance. Except as expressly approved by this PDD Ordinance no other uses or any expansion of the uses authorized herein are approved, unless this PDD Ordinance is amended.
- (c) No more than fifty percent (50%) of the area within the Project used for retail sales or services may be used by a single type of use or service.
- (d) Outdoor and overnight display of items intended for retail sale are authorized so long as such items are contained within a kiosk, mobile cart, semi permanent or temporary sales stand.

- (e) Outdoor display of inventory is allowed so long as the outdoor display area does not exceed 11,000 square feet, is located in the area depicted in the Concept Plan, is screened from view of Highway 71 and the inventory is composed of products for sale that are intended for outdoor use.

10. Landscaping

(a) The Project's Landscape Plan shall be considered for approval when the Project's Site Plan is submitted for approval. Such landscaping shall be used to accomplish the following: (i) substantially screen utilities, fencing, lighting structures and the portions of any structures or storage areas that are not architecturally articulated in accordance with City's Code or approved in Exhibit "D"; (ii) substantially screen the parking areas located adjacent to the east property line ; (iii) screen storage areas and waste collection receptacles; and (iv) substantially screen HVAC or other mechanical units so that such units are not visible.

(b) Except as otherwise set out herein, the Project shall comply with the landscape requirements of the City's Code of Ordinance. The Landscape Plan and any proposed tree removal shall be considered for approval at Site Plan approval. Maintenance Plans shall be required and considered for approval at Site Plan approval to guarantee that vegetative screening will be maintained.

(c) Juniper, cedar and hackberry trees shall not be considered as "protected trees" and shall not be considered as being included within the requirements of the landscape provisions of the City's Code of Ordinances unless such trees are 12 caliper inches in size or greater.

(d) Developer shall be required to construct and maintain a fence separating the Property from the City's Central Park in accordance with the Code. The location and construction materials of the fence will be considered for approval at Site Plan approval.

11. Setbacks

(a) The building setback for Highway 71 is twenty five feet (25') feet. The side yard setback for the western boundary of the Property shall be five feet (5'). The eastern and northern building setback of the Property shall be twenty five feet (25'). Developer shall construct curb stops and a wall or other screening method of at least four feet in height along the eastern boundary of the Property to protect adjoining landowners. Only those structures and parking areas shown on the Concept Plan shall encroach into any building setback (except for an entrance driveway and utilities). The retaining walls as depicted in Exhibit B are permitted to be placed in setbacks. Except as otherwise authorized herein, construction of vertical structures in any setback is not permitted.

12. Signs

(a) Any Signage that may be depicted on the Concept Plan is not authorized herein. Any signage within the Project must comply with the City's Sign Ordinance as it may be amended

from time to time. Such changes or amendments to signage shall not require an amendment to this Ordinance.

13. Special Events.

Special events shall mean those events described as a special event in the City Code of Ordinances. Special Events shall be permitted by the City pursuant to Section 6.03 Temporary Special Events, with the following exception: more than two (2) temporary special event permits may be issued within a calendar year. No temporary special event permit will be issued without demonstration of adequate parking provided off-site.

14. Phasing Plan.

It is anticipated by the Developer that certain buildings, activities and structures currently being used on the Property will continue to be used on the Property until construction of Phase I is completed. The buildings and structure identified in the Concept Plan as existing are authorized to be used until completion of Phase I. The 2 canvass pole tents that are 20x30 and 30x50 feet are authorized to be used until completion of Phase I construction. Provided however, that such tents will be removed on or before September 30, 2014 if Phase I construction has not been completed by that date.

15. Additional Performance Standards

(a) A Traffic Impact Analysis is required for this Project at Site Plan approval. Any mitigation or traffic impacts identified by the Traffic Impact Analysis study shall be mitigated by the Project and any highway construction or signalization upgrades must be completed prior to issuance of a building permit. In addition, an updated Traffic Impact Analysis shall be required prior to the commencement of Phase II.

(b) Cut and fill will be allowed within the Project if approved as part of Site Plan approval.

(c) "Minor Modifications" of the Concept Plan and/or Site Plan for the Property may be approved administratively by the City Manager in accordance with the procedure set out in the Code of Ordinances provided such modifications would not otherwise result in a violation of the City's Code of Ordinances, a violation of specific Development Standards described in this Ordinance, cause an increase in the amount of impervious cover or an increase in Annual Pollutant Load, or cause additional encroachments into the setbacks established for the Property. As defined herein, "Minor Modifications" shall mean modifications that satisfy the above criteria and any of the following:

1. Adjustments of up to 10% in the square footage of buildings from that described herein.

2. Adjustments of flat work such as curbs, sidewalks, streets, decks and parking areas up to 25% of the area depicted in the Concept Plan.
3. Adjustments to location and height of retaining structures if such adjustments improve the structural integrity and performance of the structure as certified by Developer's engineer.
4. Any other matters considered as a Minor Amendment by the City's Code of Ordinances.

Minor Amendments require submission of a Site Plan amendment and approval by the City Manager of the amended Site Plan.

- (d) The Project shall be maintained clean from litter. A litter management and control program for the project shall be subject to review and approval by the City Manager.
- (e) Utilities within the Project shall be buried.
- (f) Traffic control and special event security may be required by the City.
- (g) In the event that amendments to these Development Standards are subsequently approved by the City as part of Site Plan approval or Plat approval, such changes shall be authorized herein without the need for an amendment to the Concept Plan or this zoning ordinance. However, no changes in the use of the property may be approved except through an amendment to this ordinance.
- (h) Fencing for the Project shall be approved in accordance with the City's Fencing Ordinance. The Property line between the Project site and the City's Park shall be fenced prior to completion of Phase I of the Project.
- (i) Operation hours of the Project shall be 8 a.m. to 8 p.m. for non-restaurant uses and from 7a.m. to 10 p.m. for restaurant uses.
- (j) Retaining walls may be constructed within utility easements so long as such construction is approved by the utility whose easement is being encroached, is done at Developer's risk of removing and reconstructing the retaining wall if access to the easement is needed by the utility..
- (k) Construction within areas designated by the Code as a steep slope will be considered for approval at Site Plan approval.
- (l) Retaining walls are not required to have a four foot offset for every eight feet in height so long as such walls are designed by a structural engineer, constructed in accordance with the design and such engineer certifies to the City that the walls meet or exceed the construction standards of the City for retaining walls.

(m) The Project shall have a twenty-four foot (24') fire lane as depicted on Exhibit "B", except a portion of the fire lane may be permitted to be twenty feet (20') at the location shown on Exhibit "B", if approved by Lake Travis Fire and Rescue.

EXHIBIT "D"
BUILDING ELEVATIONS

A2.01 Building Elevations: Bldgs A, B, C, D

A2.02 Building Elevation: Bldgs A+B

A2.03 Building Elevation: Bldgs C+D

A2.04 Building Elevation: Bldg E

A3.11 Building Sections: Bldgs A+B

A3.12 Building Sections: Bldgs A+B

A3.13 Site Sections

A3.14 Building Sections: Bldgs C+D

A9.11 Relocated Church

A9.12 Building Materials

A9.13 Building Materials

A9.14 Landscape Materials

A9.15 Building C &D

L1.01 Urban Landforms

Aerial View of the Overall Site

View of the Square Looking Toward the Store

View of the Rear of the Store and Circular Entry Stair

Revival Square Horizontal Elements

Revival Square Vertical Elements

Revival Square Landscape Elements

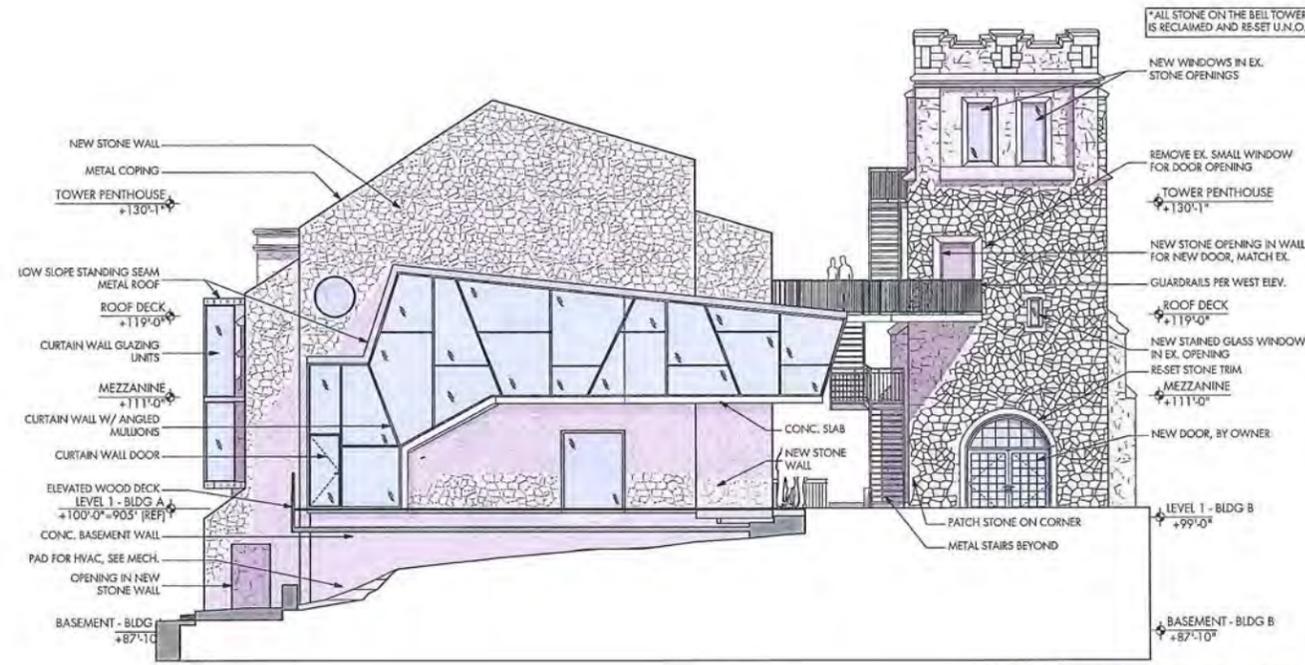
Revival Square Plant Palette



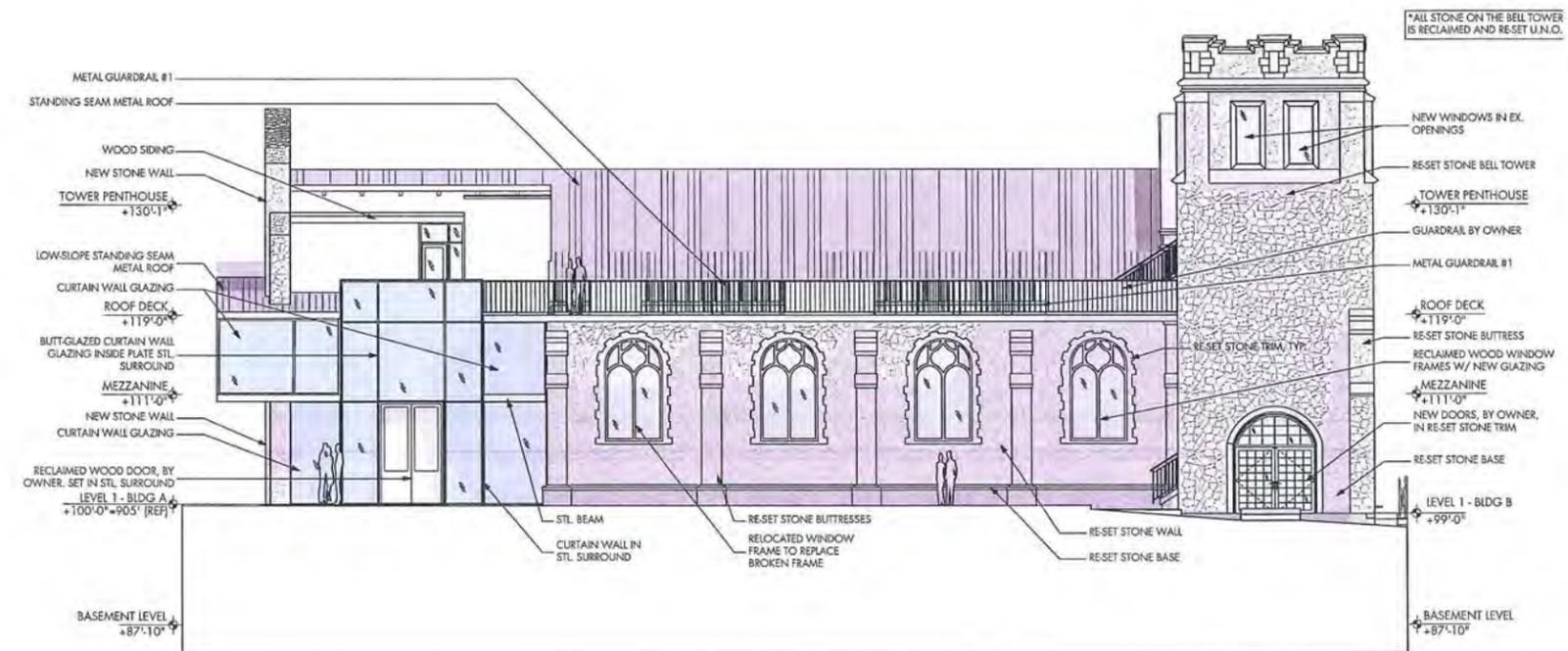
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THE ARCHITECT AND MAY ONLY BE USED IN
CONJUNCTION WITH THIS PROJECT

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2 BLDG A + B : NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 BLDG A + B : WEST ELEVATION
SCALE: 1/8" = 1'-0"

SEAL _____

PROJECT _____

DRAWN BY
JK, MD, JAY K, JH

SET ISSUE
CONCEPT PLAN
26 SEPTEMBER 2013

REVISIONS _____

SHEET TITLE
BUILDING
ELEVATIONS : BLDG
A+B

A2.02

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REVIVAL SQUARE
13308 W. HWY. 71
BEE CAVE, TX 78738



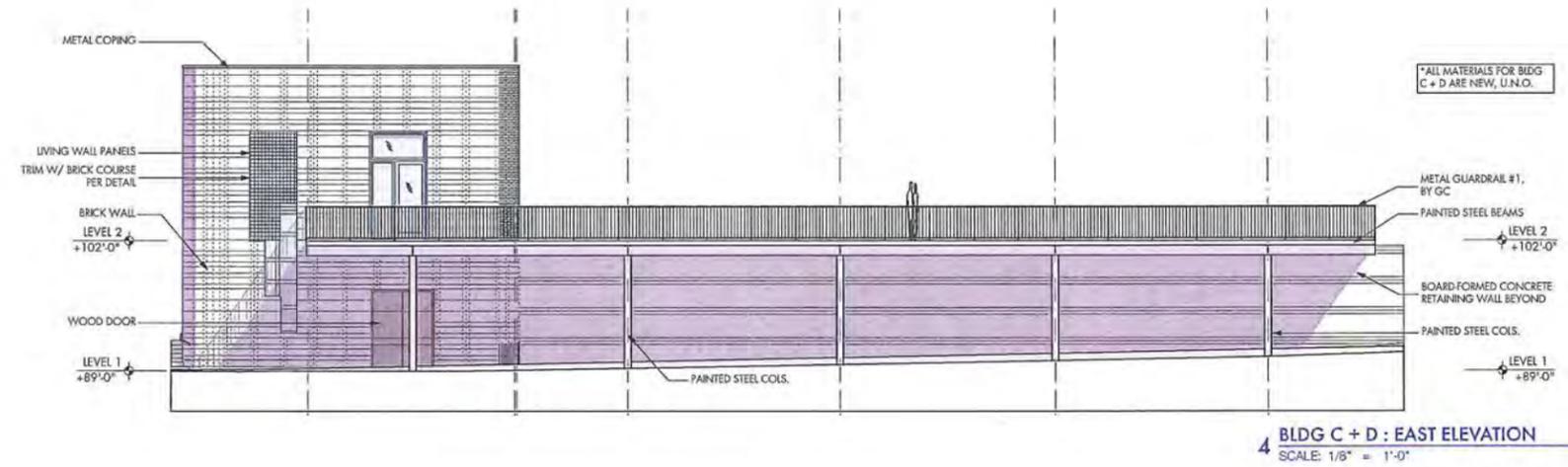
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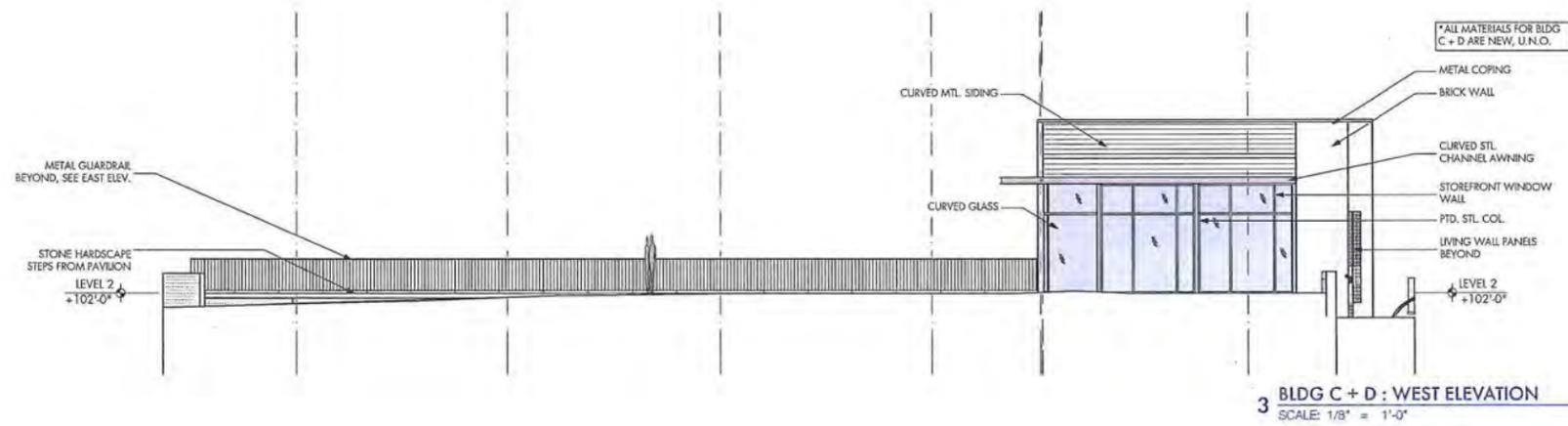
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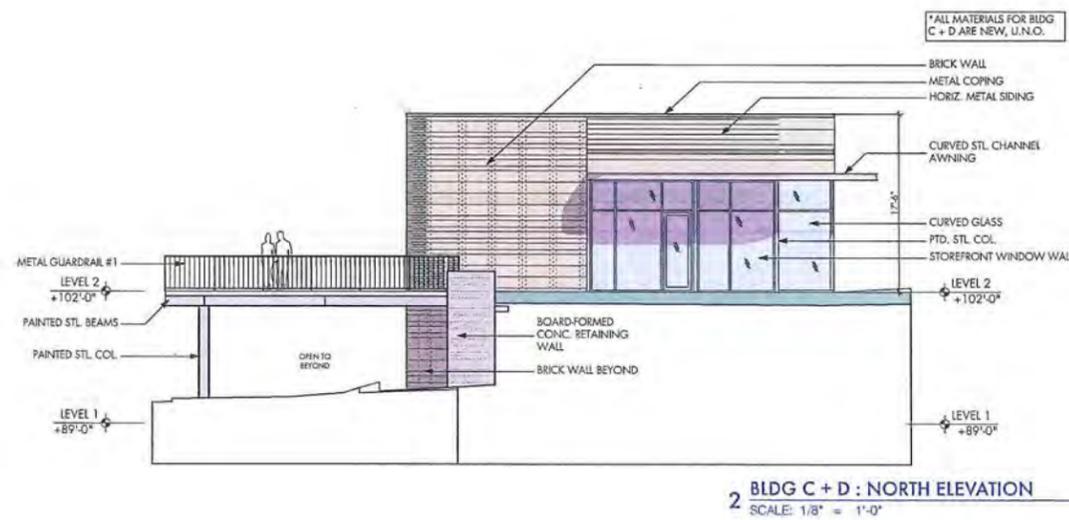
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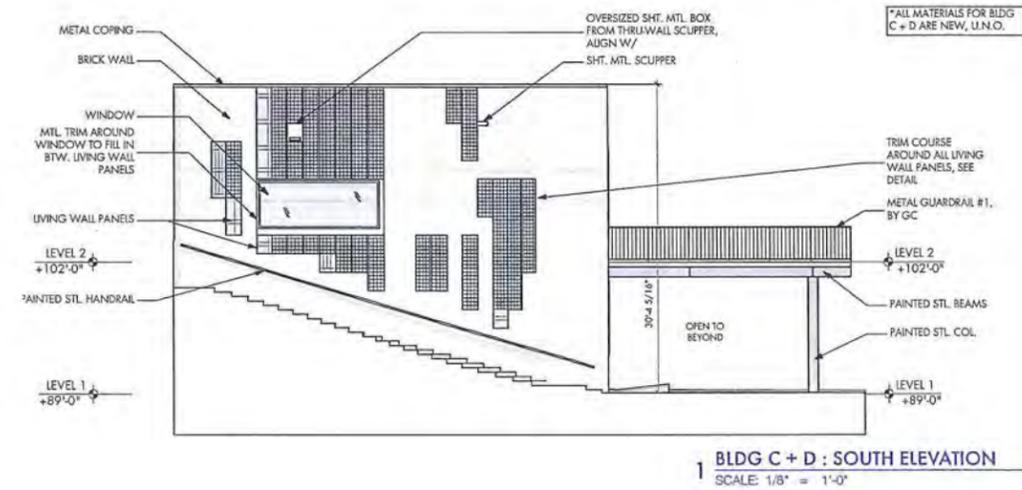
4 BLDG C + D : EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 BLDG C + D : WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BLDG C + D : NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 BLDG C + D : SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

REVIVAL SQUARE

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DRAWN BY
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SHEET TITLE

BUILDING
ELEVATIONS : BLDG
C+D

A2.03

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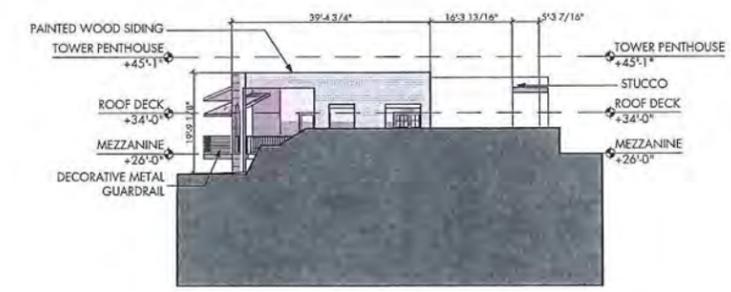
DRAWN BY
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 CONCEPT PLAN
 26 SEPTEMBER 2013

REVISIONS _____

SHEET TITLE
 BUILDING
 ELEVATIONS : BLDG
 E

A2.04



4 BLDG E : NORTH ELEVATION
 SCALE: 1/16" = 1'-0"



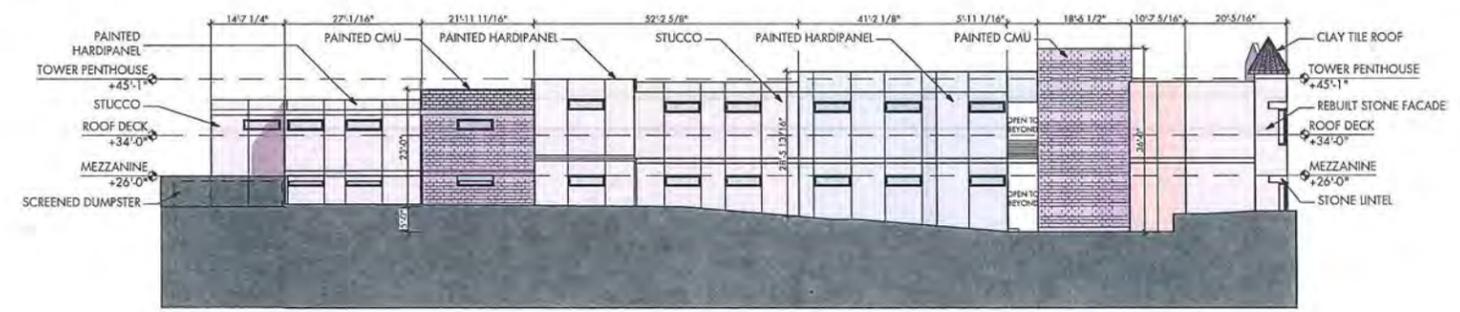
5 BLDG E : NORTHWEST ELEVATION
 SCALE: 1/16" = 1'-0"



3 BLDG E : SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"



2 BLDG E : EAST ELEVATION
 SCALE: 1/16" = 1'-0"



1 BLDG E : WEST ELEVATION
 SCALE: 1/16" = 1'-0"



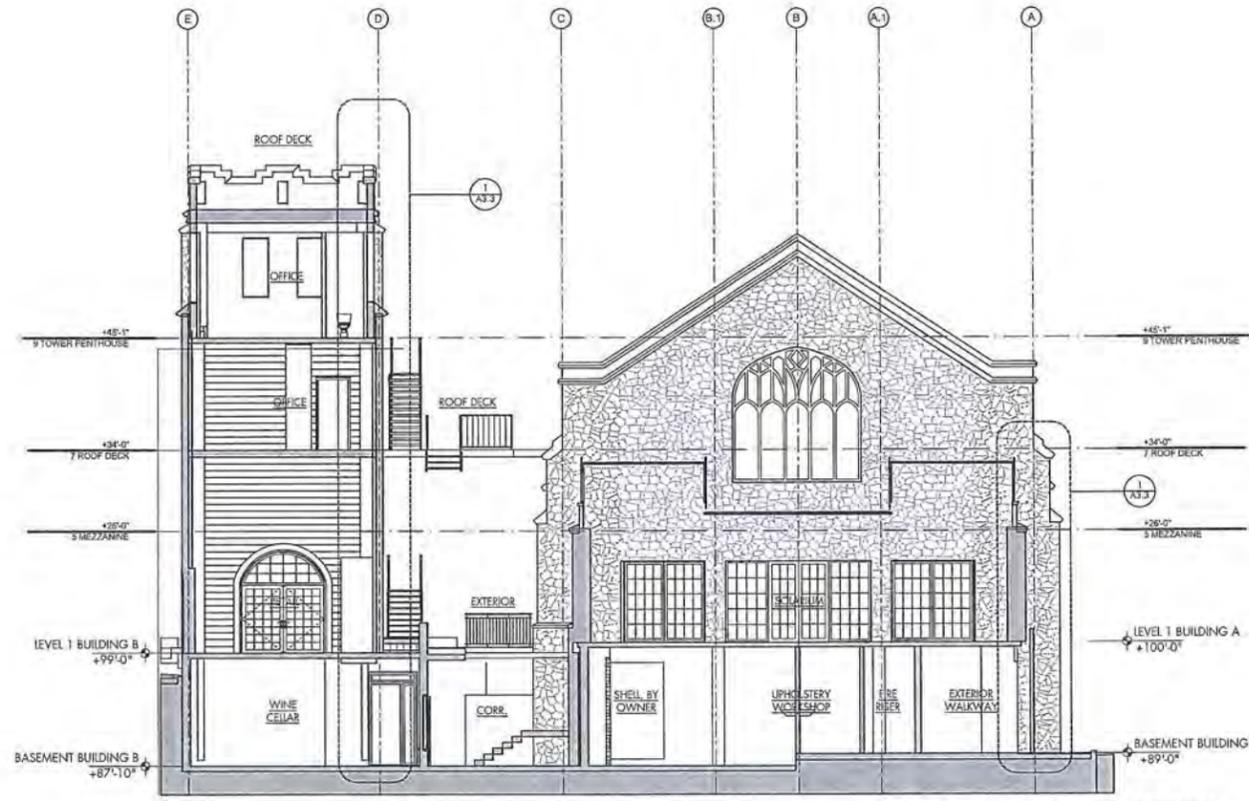
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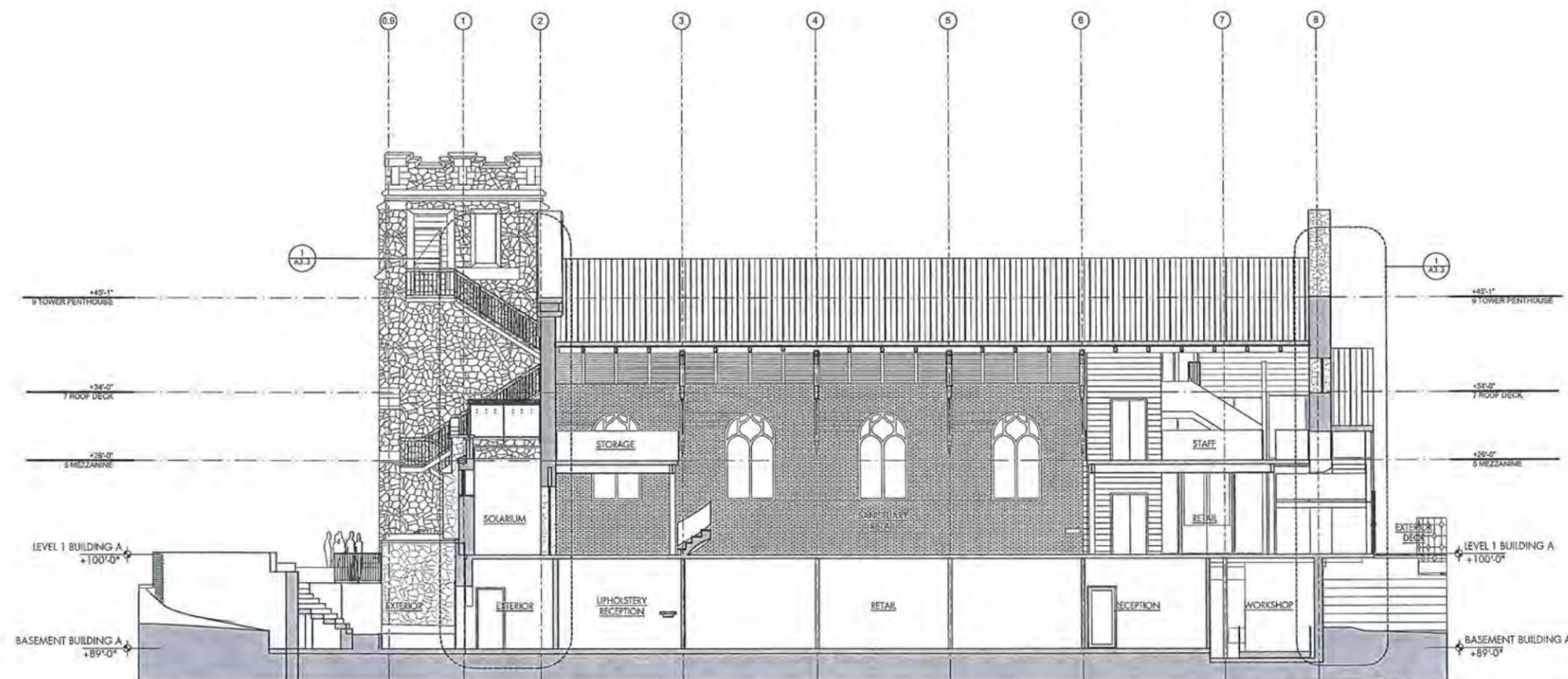
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2 BLDG A+B : E-W BUILDING SECTION
 SCALE: 1/8" = 1'-0"



1 BLDG A : N-S BUILDING SECTION
 SCALE: 1/8" = 1'-0"

REVIVAL SQUARE
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REVISIONS

SHEET TITLE
 BUILDING SECTIONS
 : BLDG A+B

A3.11



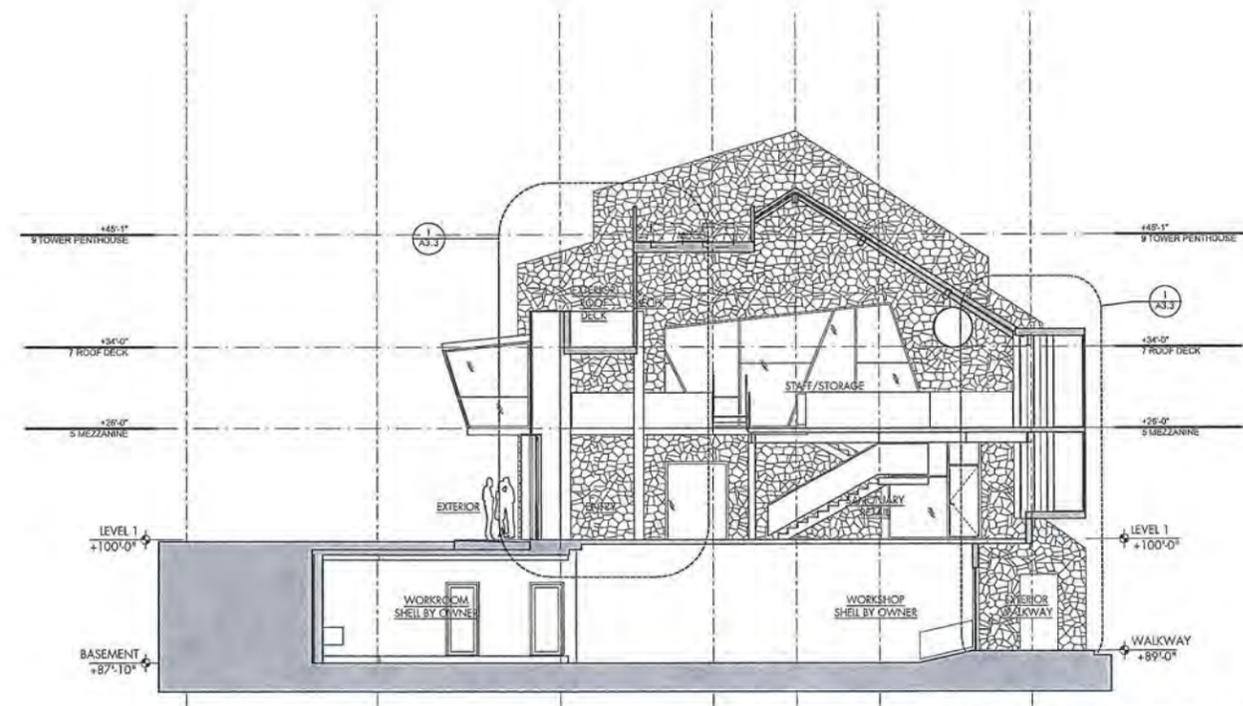
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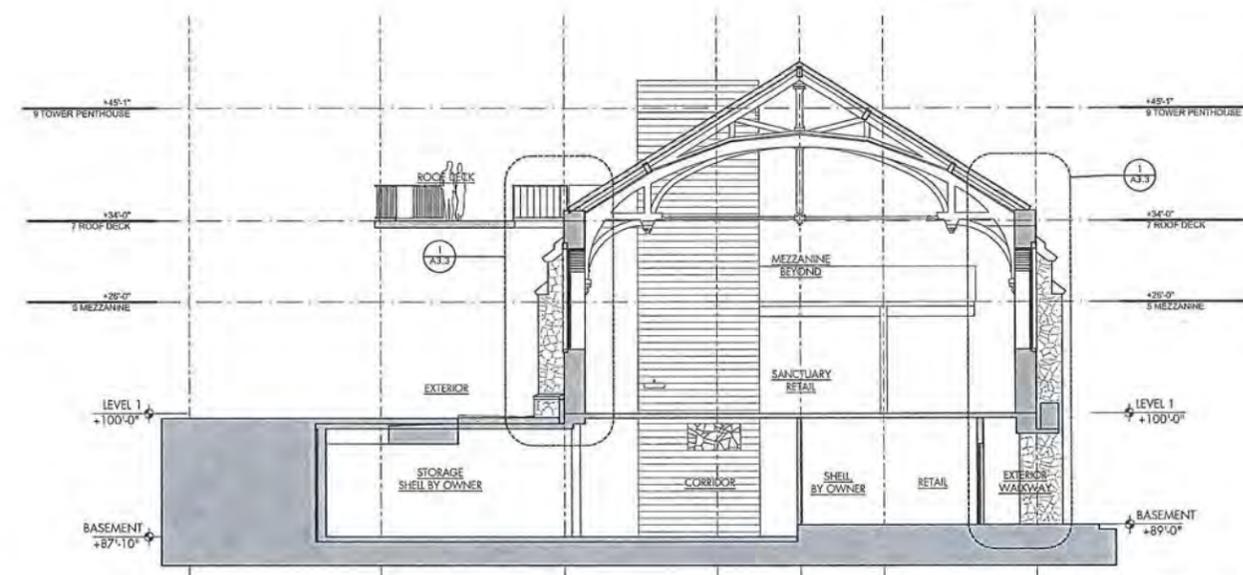
SEAL _____

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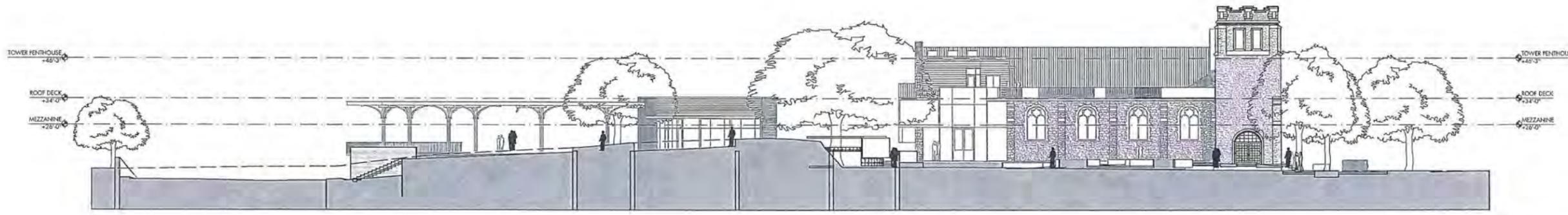
PROJECT _____



3 BLDG A : E-W BUILDING SECTION
SCALE: 1/8" = 1'-0"



2 BLDG A : E-W BUILDING SECTION
SCALE: 1/8" = 1'-0"



1 N-S SITE SECTION
SCALE: 1/16" = 1'-0"

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26 SEPTEMBER 2013

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SHEET TITLE
BUILDING SECTIONS
: BLDG A + B

A3.12

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SET ISSUE

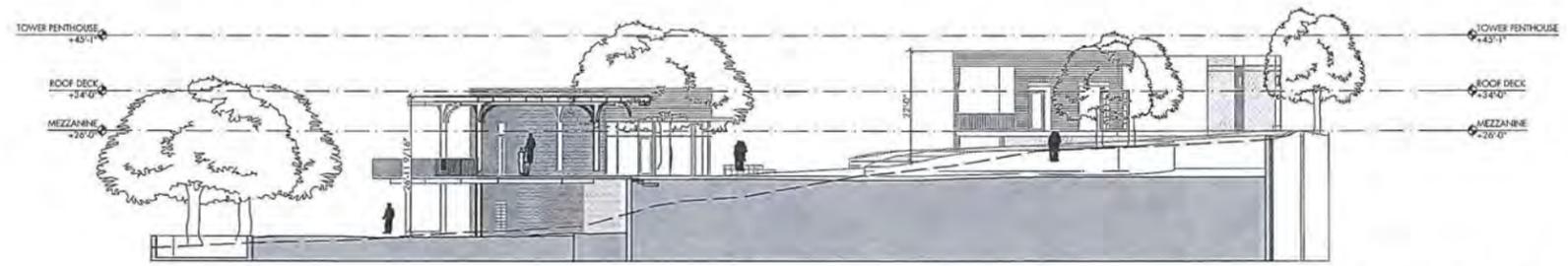
CONCEPT PLAN
 26 SEPTEMBER 2013

REVISIONS

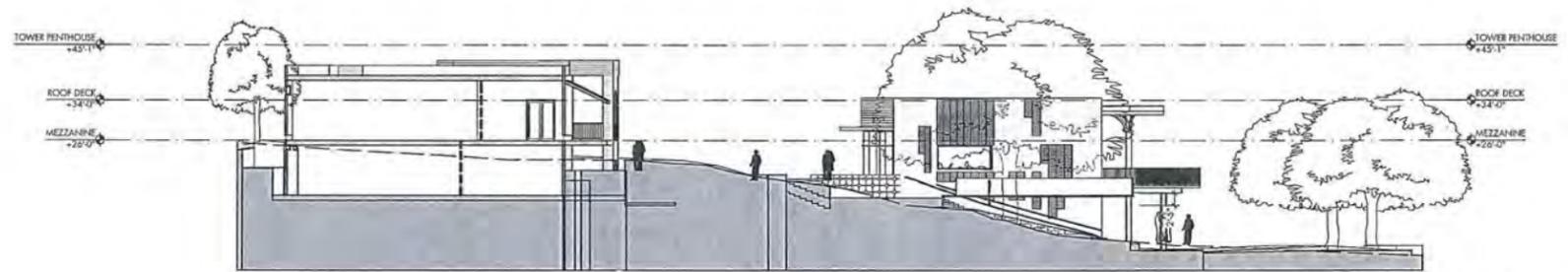
SHEET TITLE
 SITE SECTIONS

A3.13

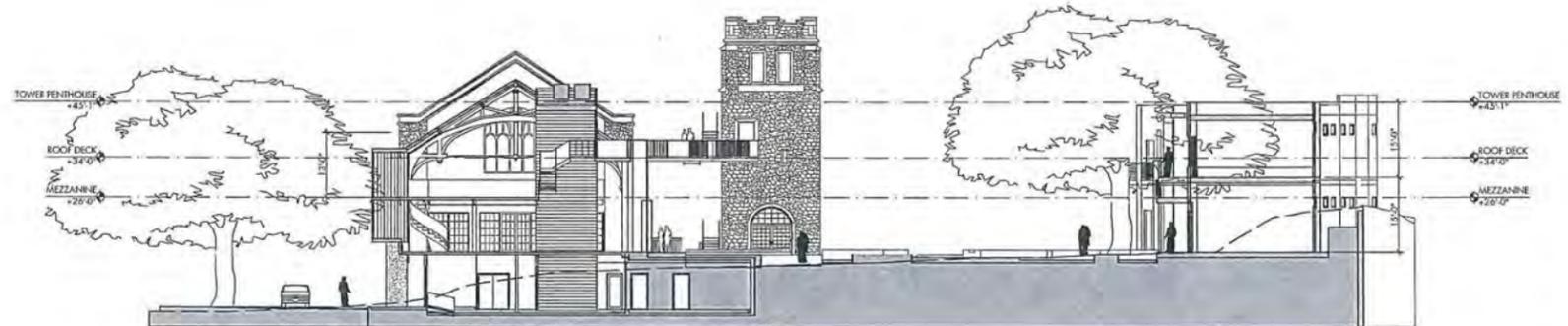
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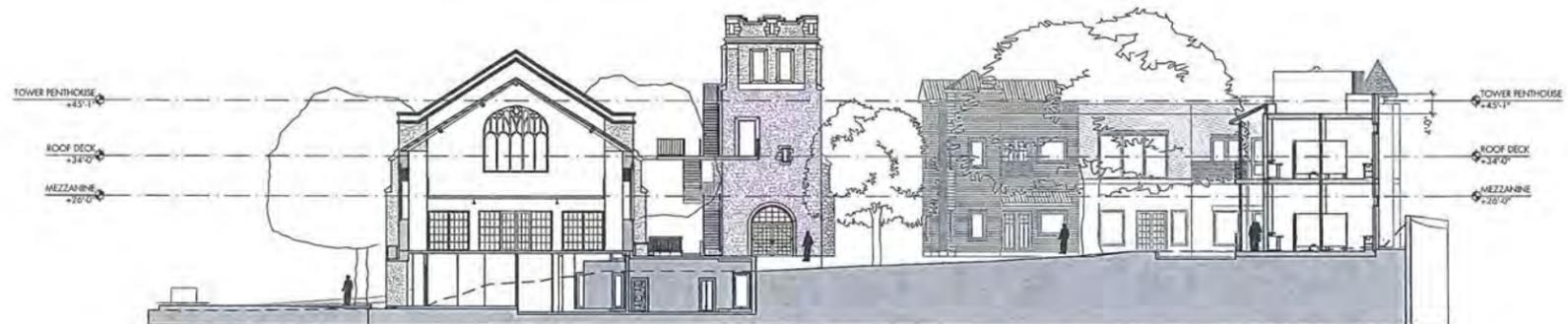
4 E-W SITE SECTION #4
 SCALE: 1/16" = 1'-0"



3 E-W SITE SECTION #3
 SCALE: 1/16" = 1'-0"



2 E-W SITE SECTION #2
 SCALE: 1/16" = 1'-0"



1 E-W SITE SECTION #1
 SCALE: 1/16" = 1'-0"



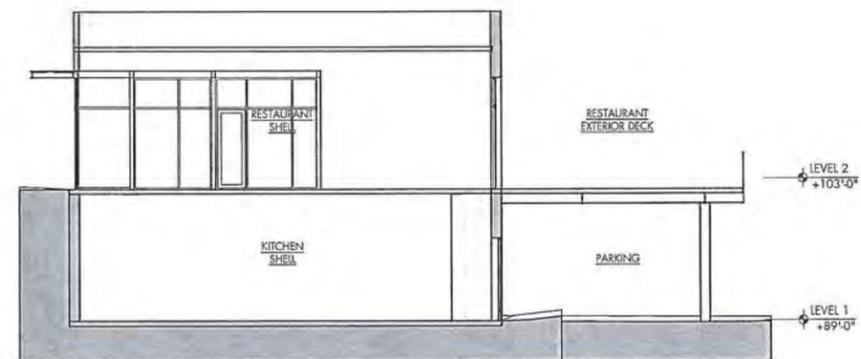
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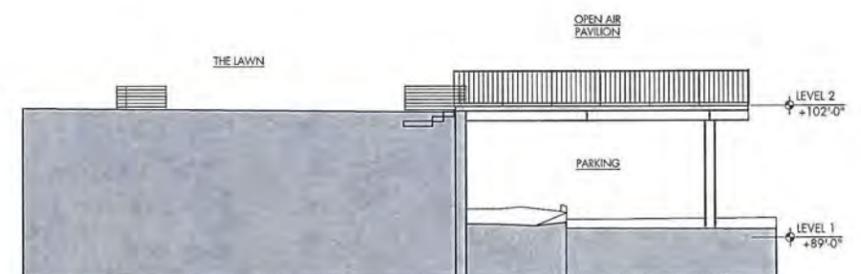
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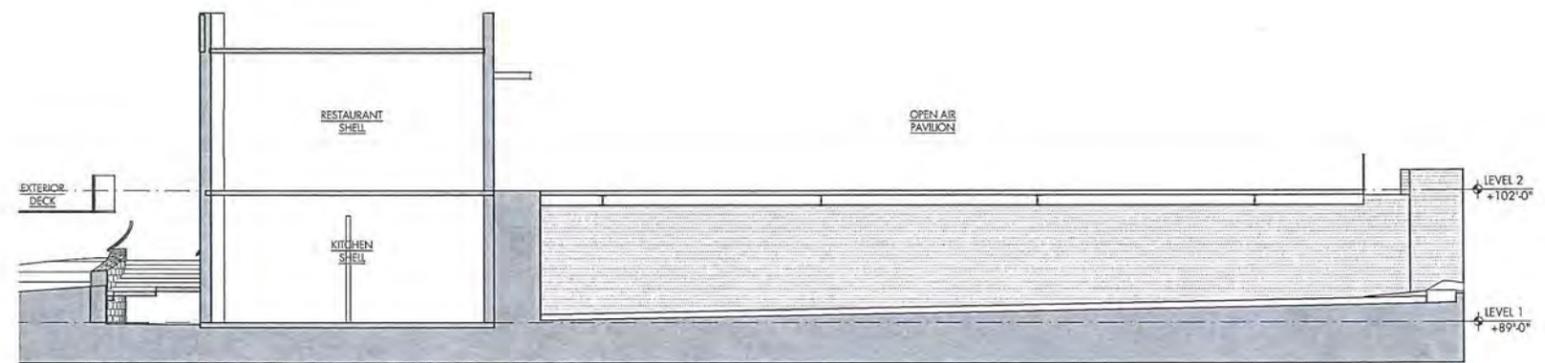
PROJECT _____



3 BLDG C+D : N-S BUILDING SECTION
 SCALE: 1/8" = 1'-0"



2 BLDG C+D : N-S BUILDING SECTION (1)
 SCALE: 1/8" = 1'-0"



1 BLDG C+D : E-W BUILDING SECTION
 SCALE: 1/8" = 1'-0"

REVIVAL SQUARE
 13308 W. HWY. 71
 BEE CAVE, TX 78738

DRAWN BY
 JK, MD, JAY K, JH

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REVISIONS _____

SHEET TITLE
 BUILDING SECTIONS
 : BLDG C + D

A3.14

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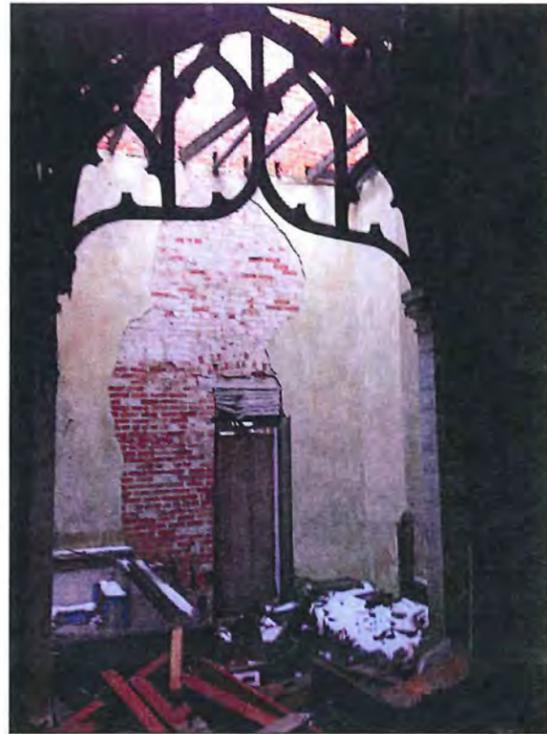
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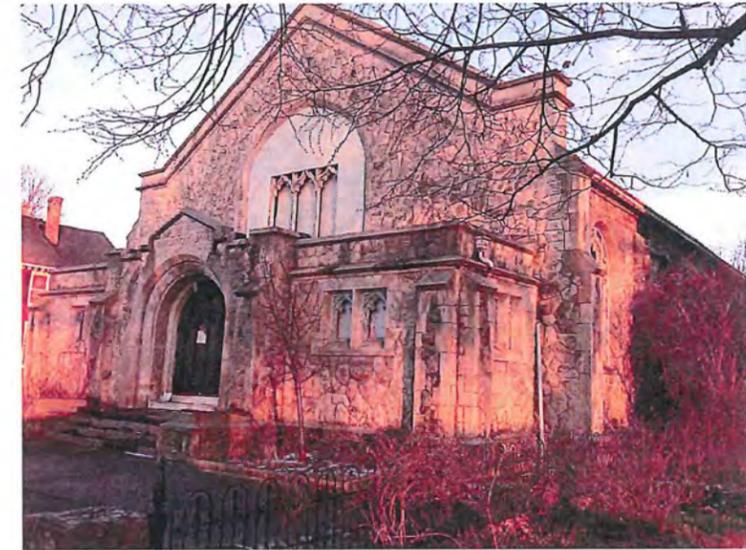
PROJECT



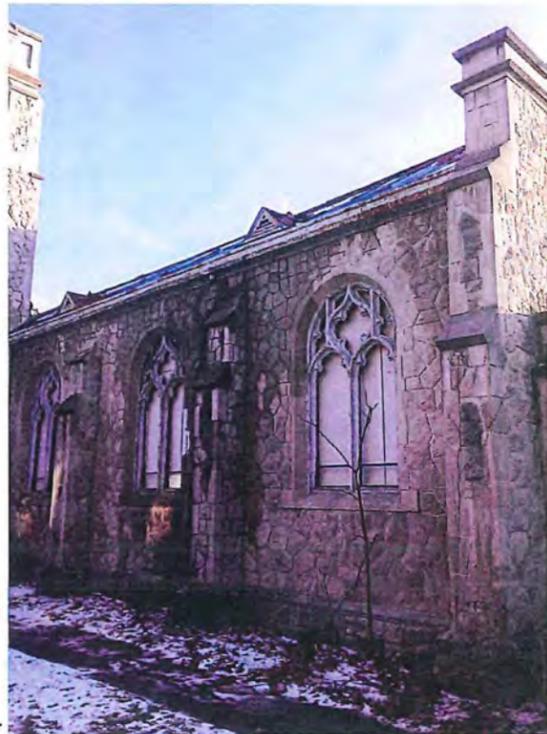
INTERIOR MATERIALS



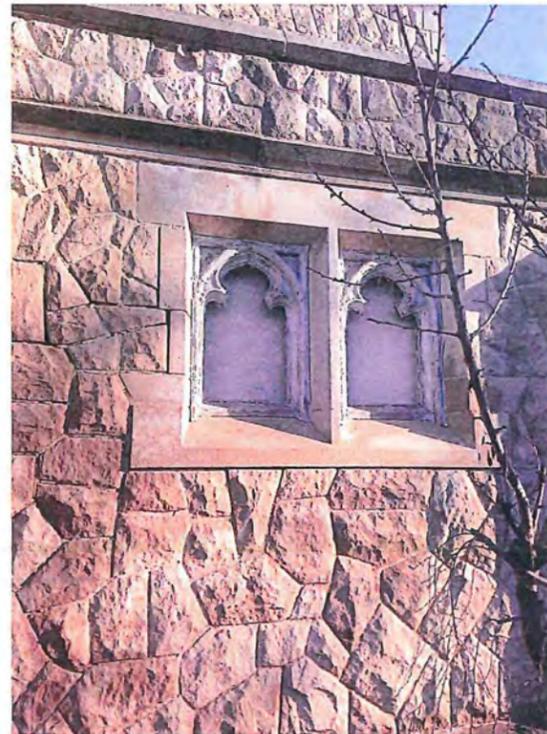
INTERIOR SANCTUARY



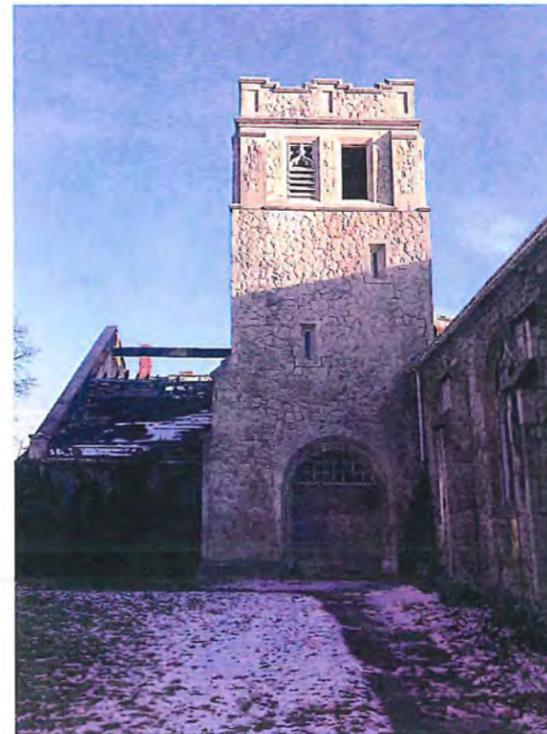
FRONT FACADE



SIDE WALL



STONE DETAIL



BELL TOWER



FRONT FACADE

REVIVAL SQUARE

13308 W. HWY. 71
BEE CAVE, TX 78738

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SHEET TITLE

RELOCATED
CHURCH

A9.11

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WEATHERED AND PAINTED BRICK

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BRICK PATTERNING



WEATHERED WOOD



BOARD-FORMED CONCRETE



STONE TYPES

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BEE CAVE, TX 78738

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SHEET TITLE

BUILDING
MATERIALS

A9.12

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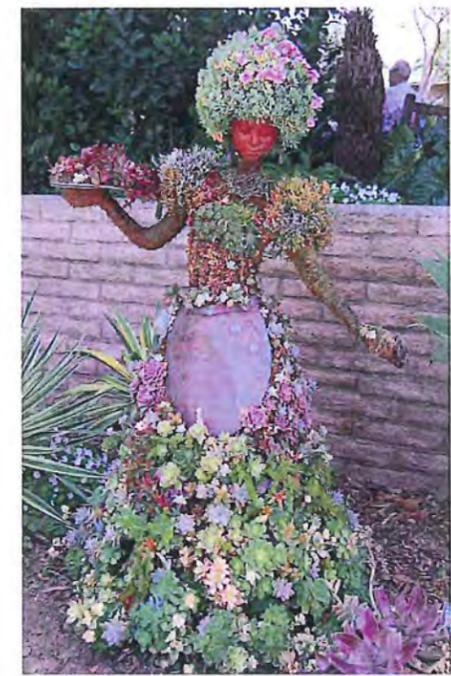
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PROJECT

REVIVAL SQUARE
13308 W. HWY. 71
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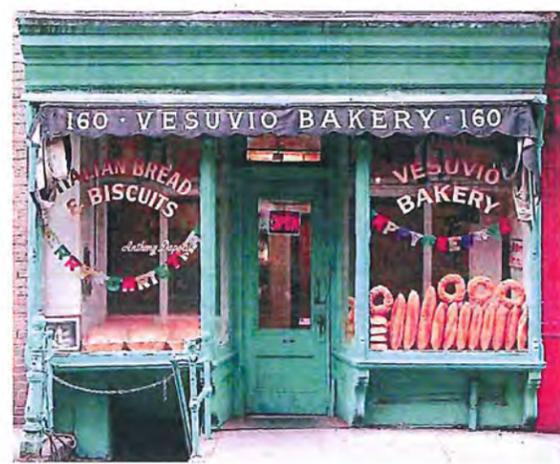
LANDSCAPE SCULPTURE



SIGNATURE ACCENT DOORS



LANDSCAPE SCULPTURE



EACH RETAIL TENANT TO HAVE CUSTOMIZED STOREFRONT

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SHEET TITLE
BUILDING MATERIALS

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PERVIOUS PATHS



RETAINING WALL



EXTERIOR SEATING



PERVIOUS CONCRETE



DECOMPOSED GRANITE PATHS



BOARD-FORMED CONCRETE



TURF AREAS



PERVIOUS GRASS PAVE

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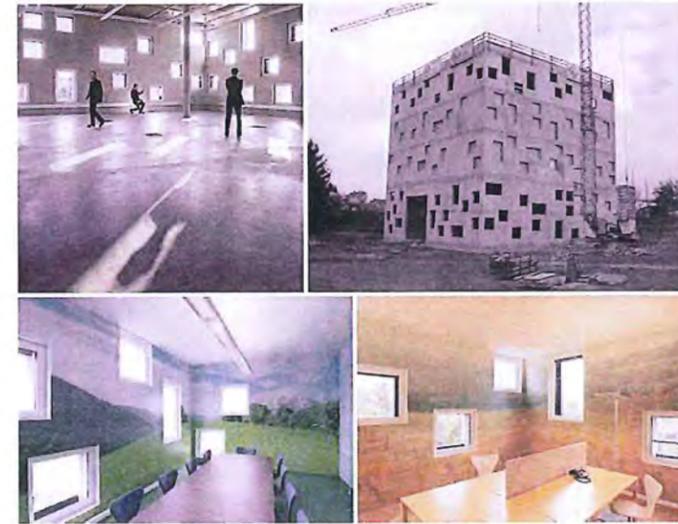
SHEET TITLE
LANDSCAPE
MATERIALS

A9.14

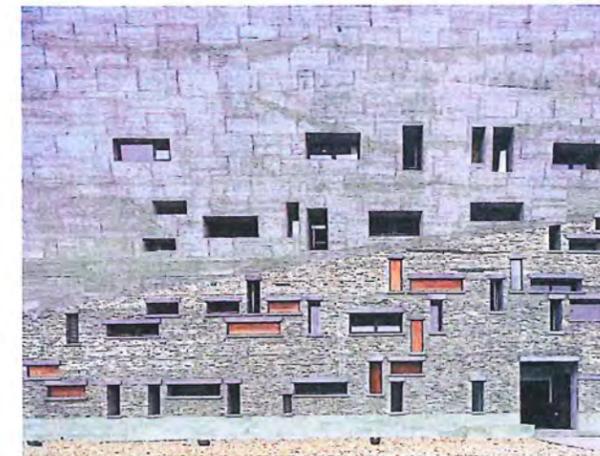
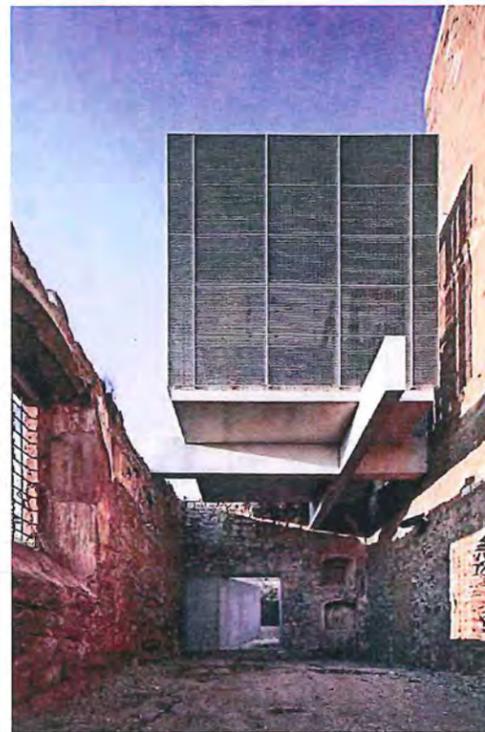
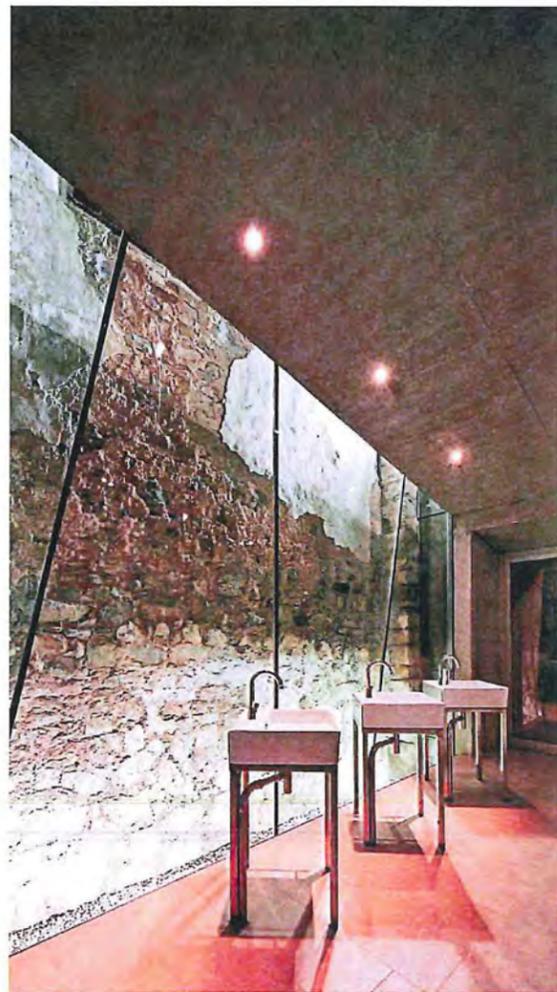
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REVIVAL SQUARE
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EXTERIOR SEATING



BOARD-FORMED CONCRETE



PERVIOUS GRASS PAVE

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SHEET TITLE
 BUILDING C & D

A9.15

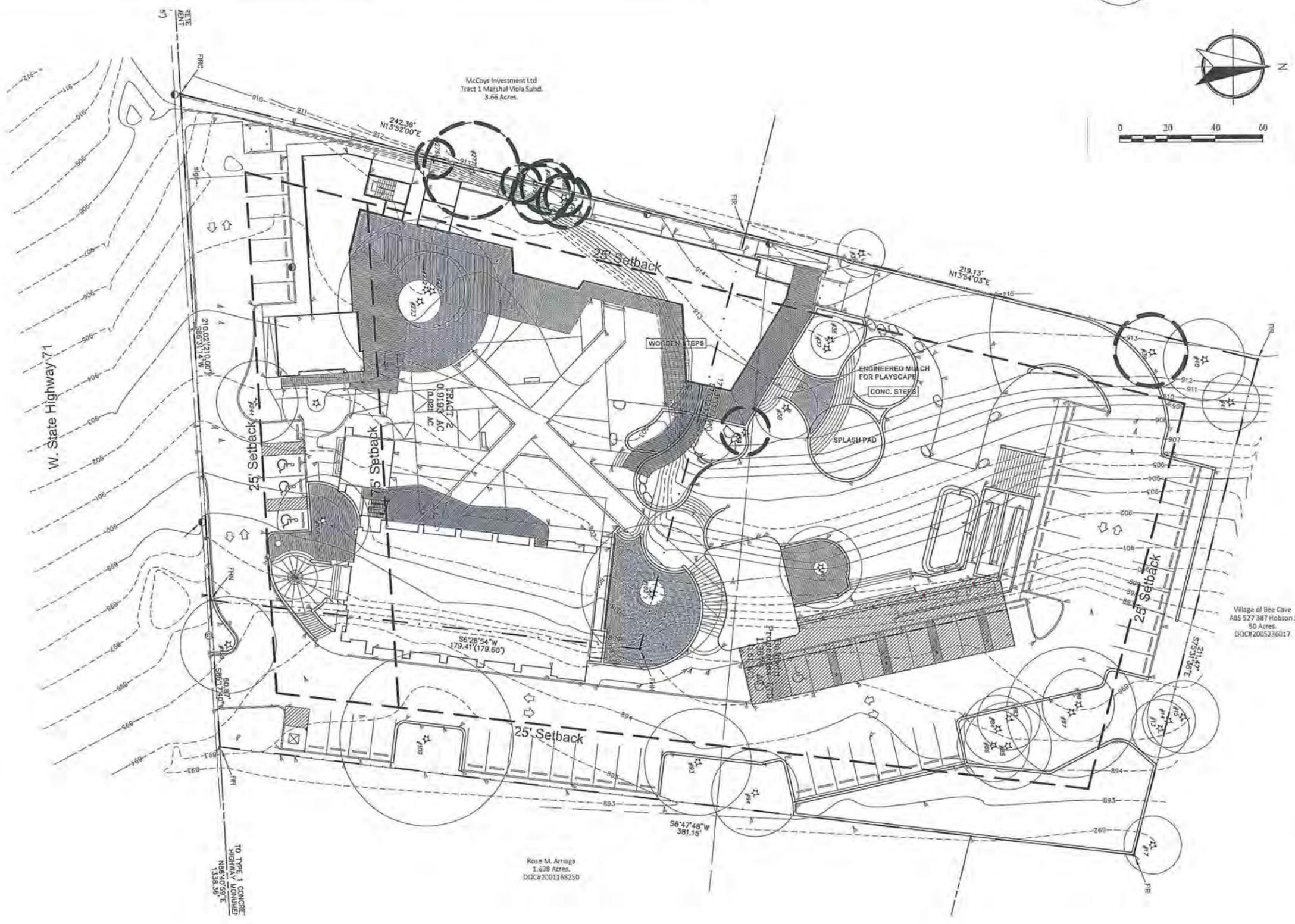
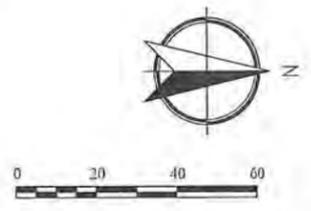
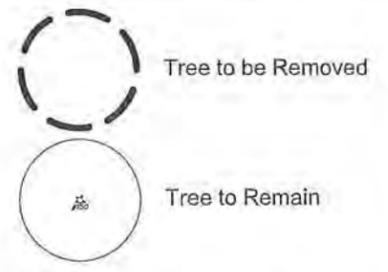
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Tree List

Tree No.	Size	Species	To Be Removed	Tree No.	Size	Species	To Be Removed
13*	12"	Live Oak		83*	13"	Live Oak	
14	11"	Live Oak		84*	14"	Live Oak	
15*	15"	Live Oak		85*	18"	Live Oak	
17	12"	Live Oak		86*	15"	Live Oak	
30	10"	Live Oak		87*	18",18"	Live Oak	
36	8"	Live Oak		88*	15"	Live Oak	
37	10",9"	Live Oak		89*	15"	Live Oak	
39*	15"	Live Oak	Remove	93*	27"	Live Oak	
40*	17"	Live Oak		94*	18"	Live Oak	
41*	12"	Live Oak		102*	29"	Live Oak	
58	9",7"	Live Oak		109*	25",22"	Live Oak	
59	10"	Live Oak	Remove	150**	10",11",9"	Live Oak	
69*	17"	Live Oak		156*	19"	Live Oak	
				244*	17"	Live Oak	

Tree Summary Table

Total Caliper Inches	655"	
Total Caliper Inches to be Removed	109"	17% to be Removed
Total Caliper Inches to Remain	546"	83% to Remain
Adjusted Total Caliper Inches****	820"	
Excluded Total Caliper Inches***	56"	
Adjusted Total Caliper Inches to be Removed**	71"	9% to be Removed
Adjusted Total Caliper Inches to Remain**	749"	91% to Remain



	DESCRIPTION	
REV. NO.	DATE	
REVIVAL 13308 HWY 71 BEE CAVE, TX 78738		
 1906 S. Main St, Georgetown Texas		
URBAN LANDFORMS REVIVAL DEVELOPMENT 13308 HWY 71, BEE CAVE, TX 78738		
Preliminary Drawing for Review Only Not for Permitting, Construction, or Bidding Purposes		
DRAWN BY:	TJU	
DESIGN BY:	TJU	
SURVEY BY:		
REVIEWED BY:		
L1.01		



PROJECT NAME:

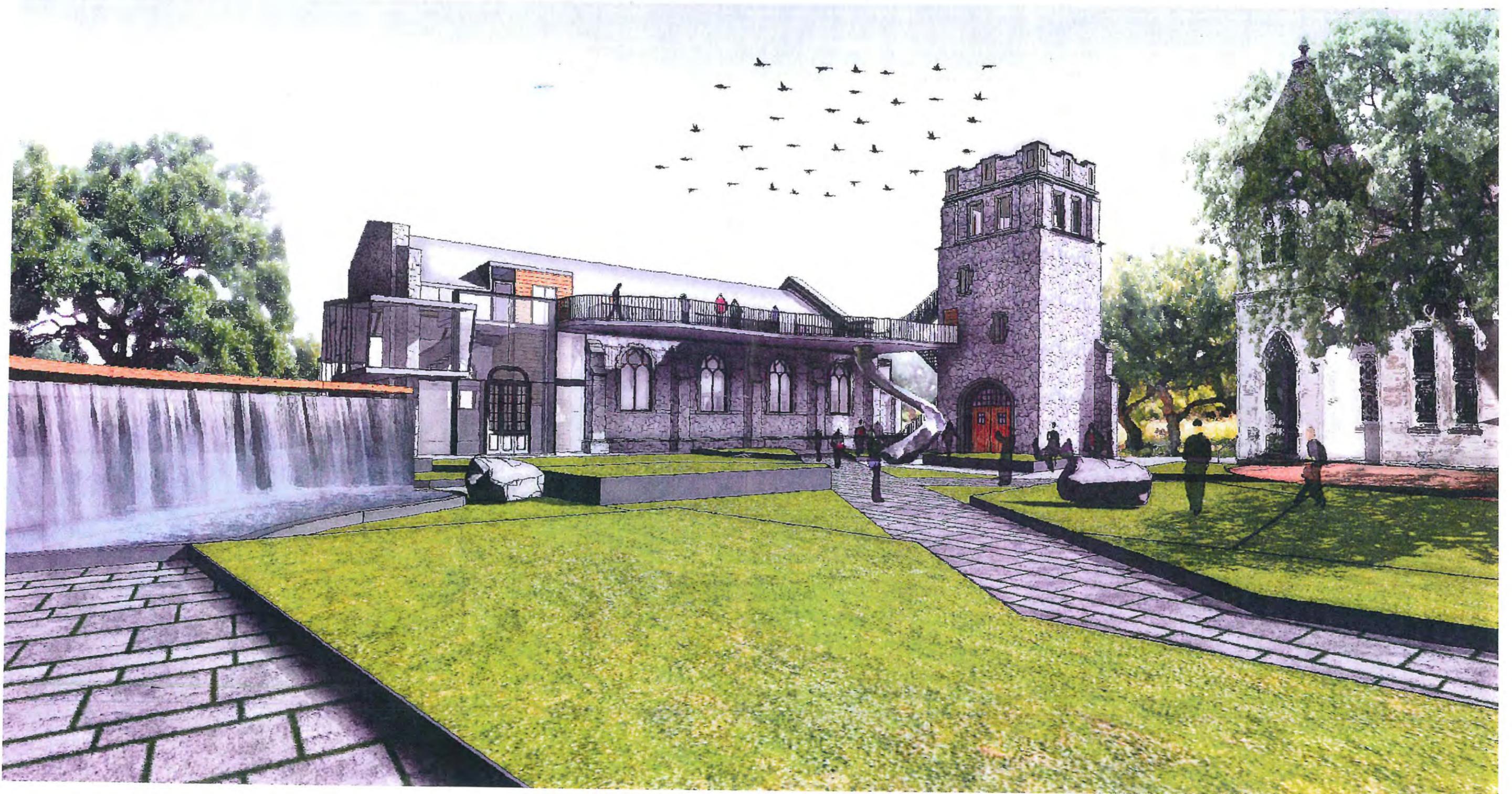
Revival Square

DATE:

19 August 2013

IMAGE NAME:

View from Highway to Front of Store



PROJECT NAME:

Revival Square

DATE:

19 August 2013

IMAGE NAME:

View of The Square Looking Toward the Store



PROJECT NAME:

Revival Square

DATE:

19 August 2013

IMAGE NAME:

View of the Rear of the Store and Circular Entry Stair



PROJECT NAME:

Revival Square

DATE:

19 August 2013

IMAGE NAME:

Aerial View of Overall Site

revival square - horizontal elements

objectives

- reuse existing materials
- create unique arrival sequences
- accentuate key program elements

paver decking



exotic hardwood



turf and stone steps



permeable pavers



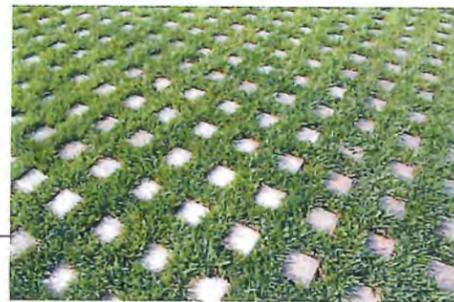
old brick



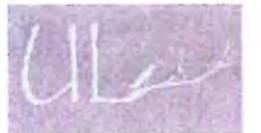
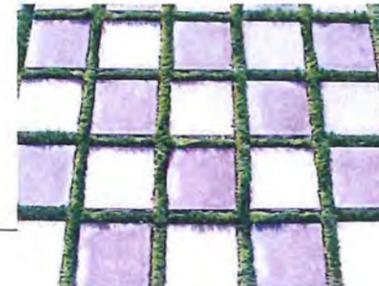
stone and turf



turf pavers



modern brick



revival square - landscape elements

objectives

- reuse existing materials to create interactive and tactile play
- create unique places to experience
- accentuate key program elements

unique play



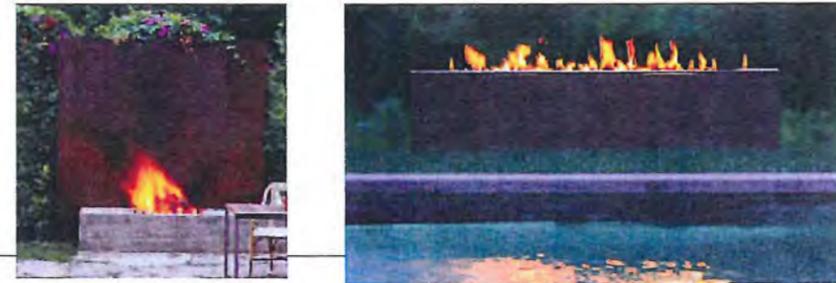
waterwall



creative wall



outdoor fire places



spash pad



fish pond view



waterfeatures



outdoor classroom



revival square - vertical elements

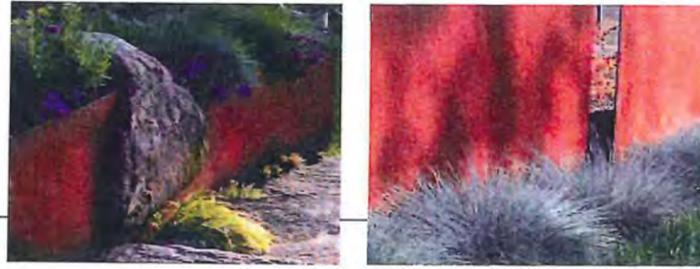
objectives

- reuse existing materials

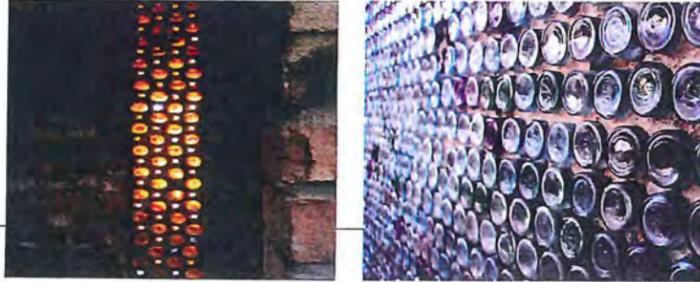
- create unique places within development

- accentuate key program elements

corten wall



wine bottle wall



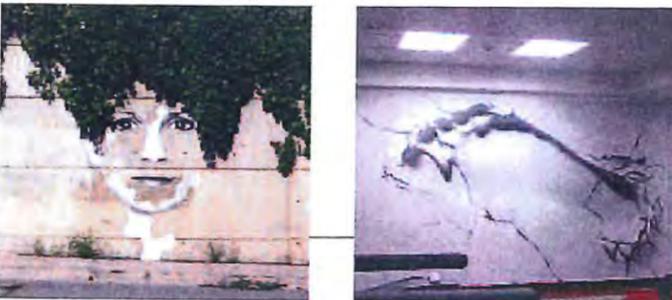
vines



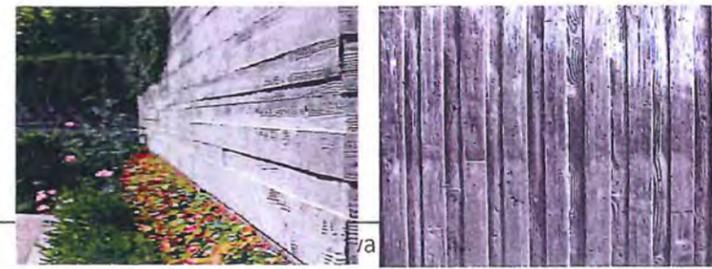
brick



graffitti wall



concrete formboard



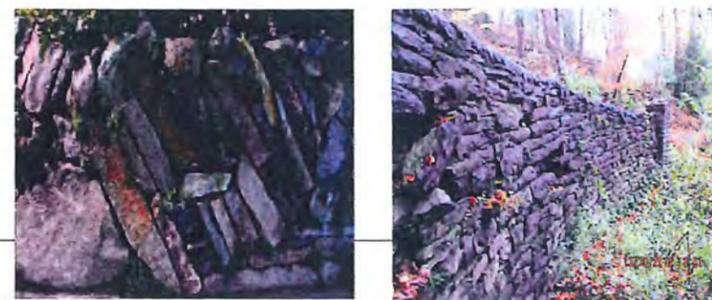
green and growing



chord wood



old stone



revival square - plant palette

objectives

- plant material will create an unique experience

- soften hardscape and architectural features

- accentuate key program elements

greenwall



lime-zinger sedum



dragons blood sedum



lemon coral sedum



black mondo grass



silver ponyfoot



dwarf english lavender



virginia creeper

accent



agave potatium



golden sword yucca



burgundy cordilyne



blue texas sotol



artemesia



horse tail



mexican bird of paradise

vines



evergreen wisteria



fig ivy



rangoon creeper



white wisteria



cypress vine



dutchman's pipe



star jasimine

perennials



autumn fern



mountain pea



blue fescue



gregg's dalea



japanese painted fern



gulf muhly



ornamental trees



anachaco orchid



mountain pea



sierra mountain laurel



guajillo



silver mediterranean palm



crape myrtle



possumhaw yaupon



